

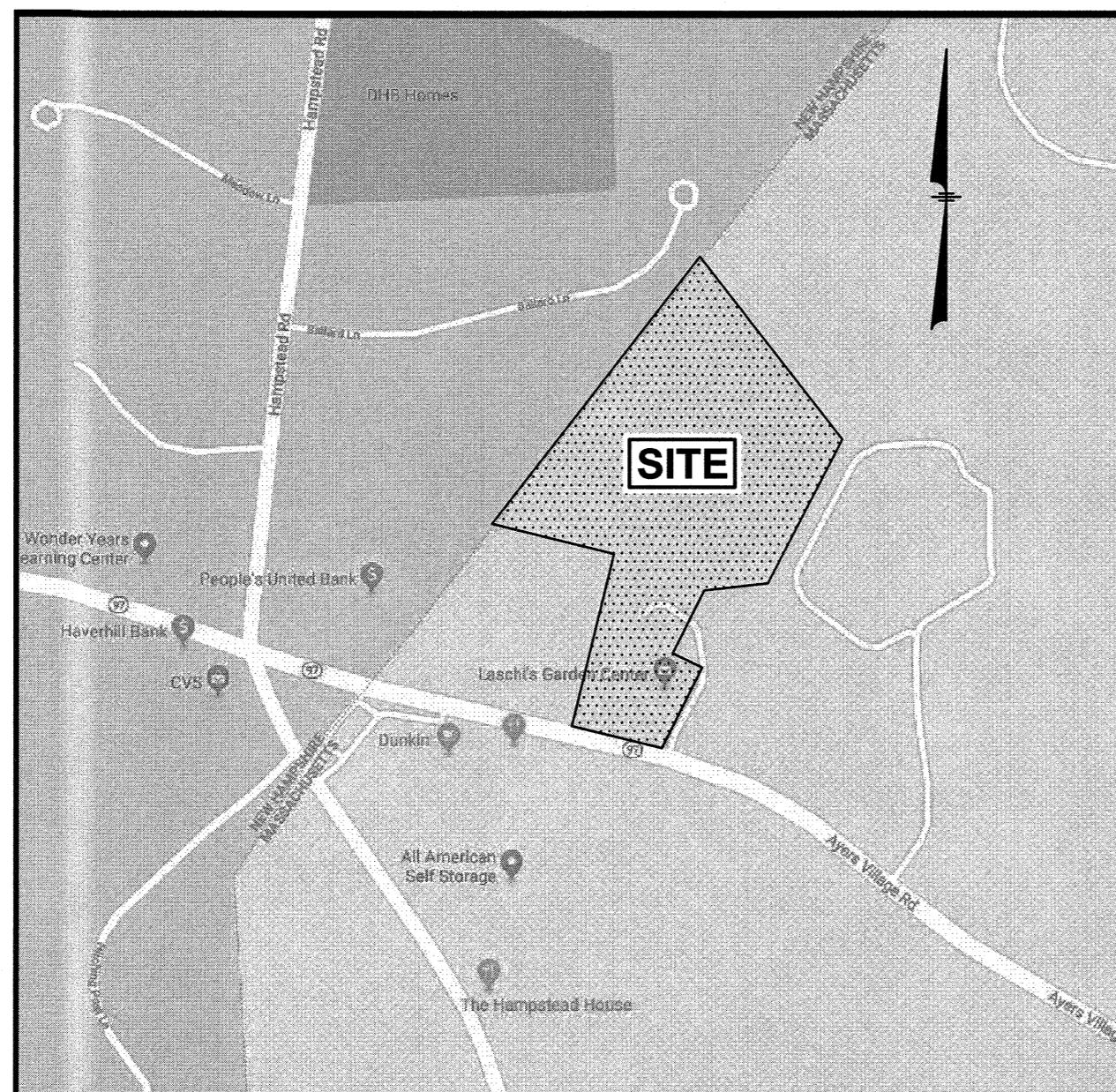
PROPOSED SITE RE-DEVELOPMENT PLANS

for

PARCEL ID 702-72A-4 & 702-72A-4C

18-20 AYERS VILLAGE ROAD METHUEN, MASSACHUSETTS 01844

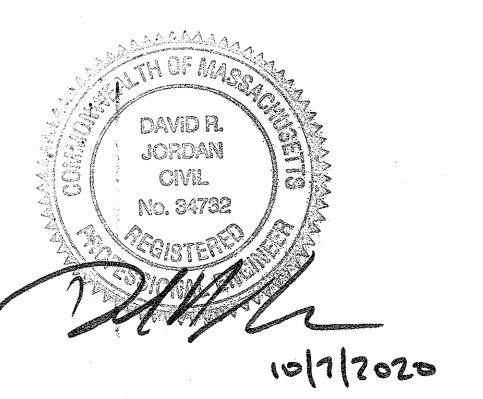
Prepared for:
SONNY VALLEY, LLC
2 WATERFORD CIRCLE
METHUEN, MA 01844



LOCATION MAP
(NOT TO SCALE)

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REVISIONS

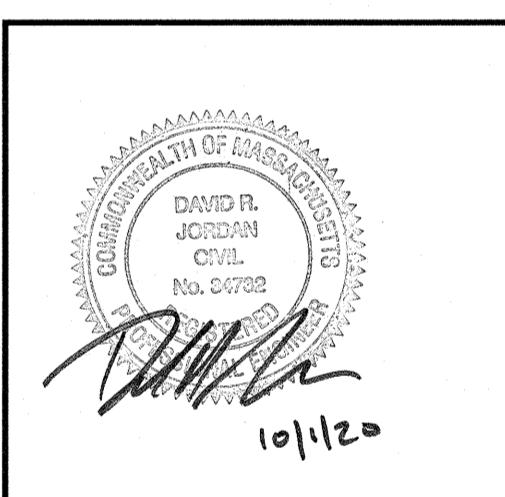
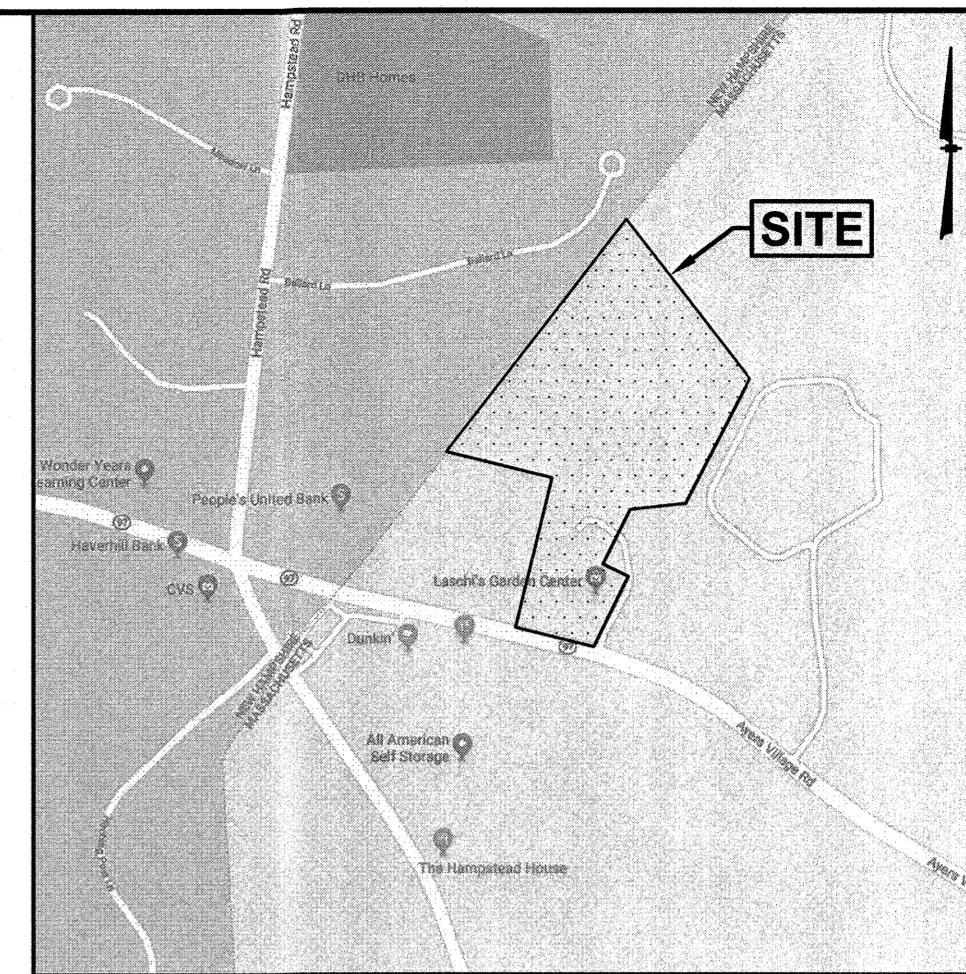
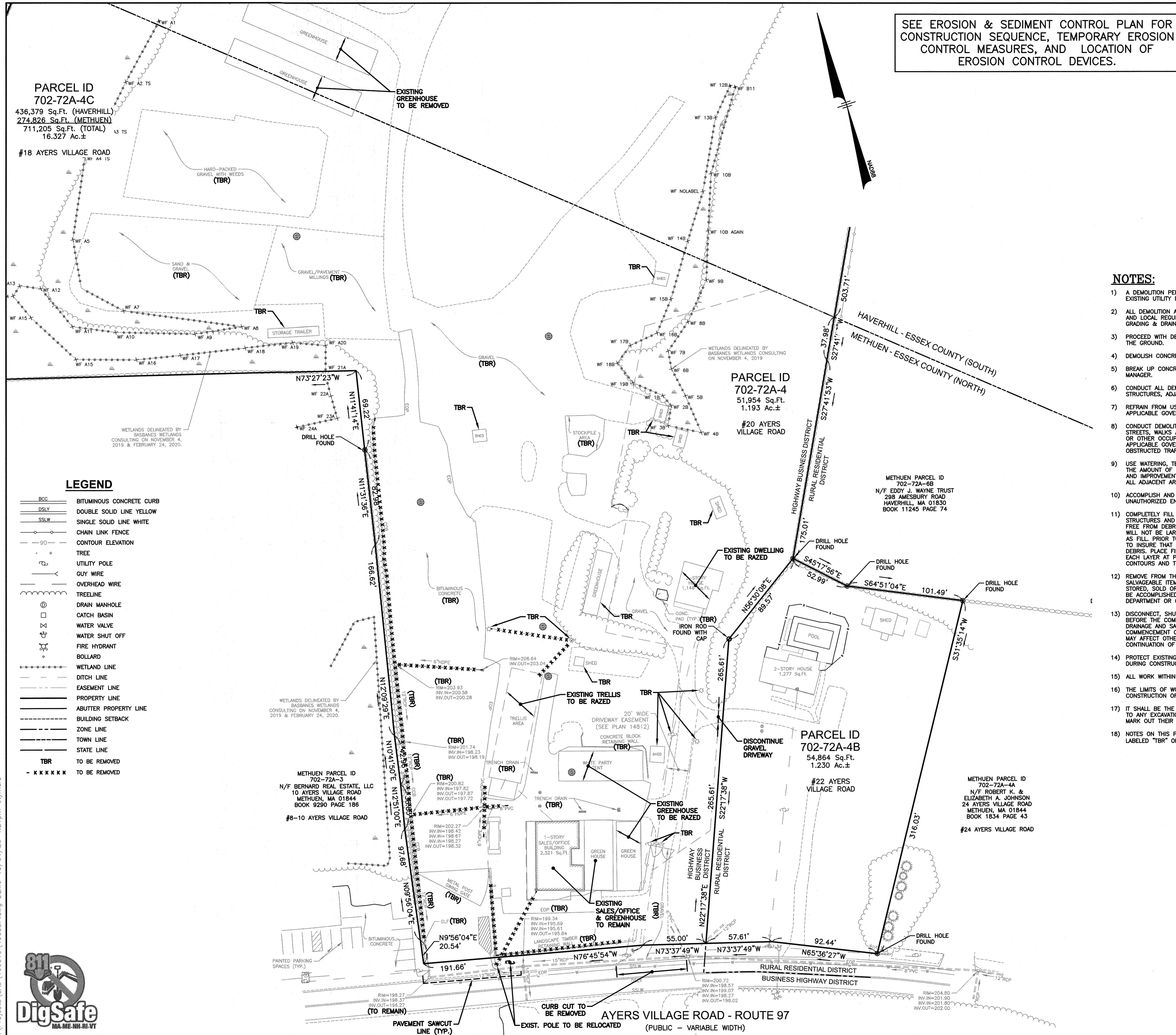
NO.	REVISION	DATE
1.	REV ELEV. & SHT 12	10/6/20

OCTOBER 1, 2020

DRAWN/DESIGN BY CCC/CMT CHECKED BY FCM

TITLE SHEET

SCALE:	NOT TO SCALE
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1 OF 12	



**PARCEL ID 702-72A-4 & 702-72A-4C
18-20 AYERS VILLAGE ROAD
METHUEN, MA**

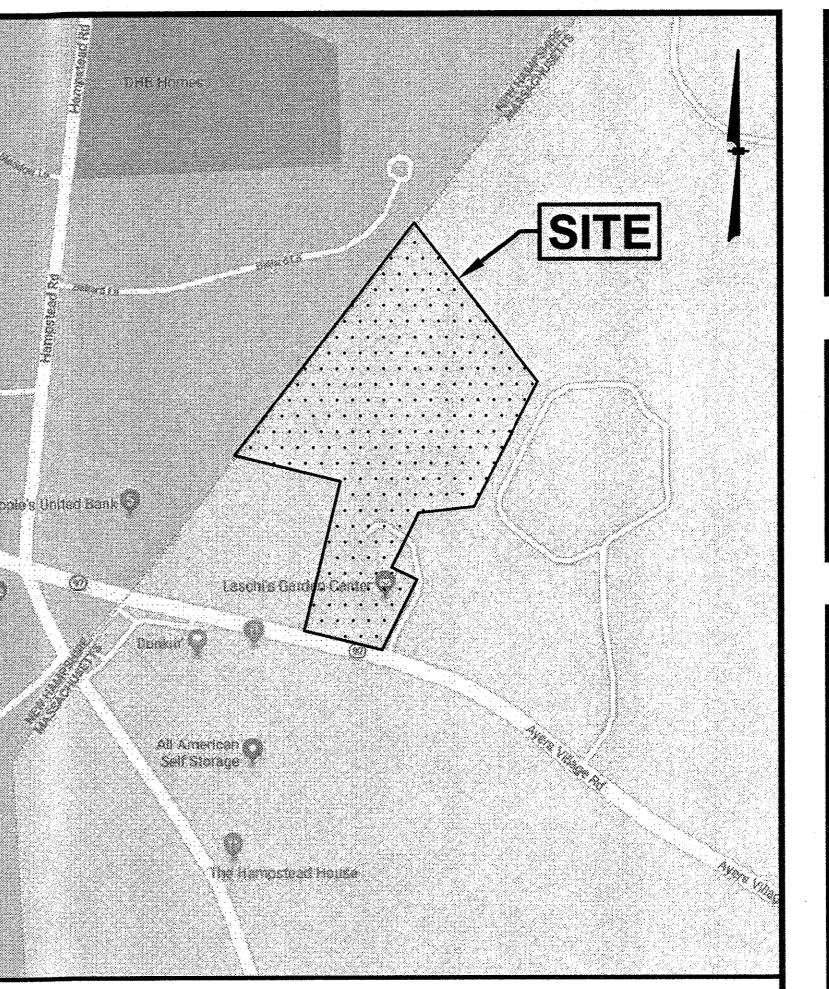


TABLE OF ZONING REGULATIONS - METHUEN, MA

ZONE: HIGHWAY BUSINESS (BH)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	10,000 SF	326,780 SF
MINIMUM LOT FRONTRAGE	100'	246.66'
MINIMUM FRONT YARD BUILDING SETBACK	25'	44.5' (EXISTING BLDG OVERHANG)
MINIMUM REAR YARD BUILDING SETBACK	30'	N/A
MINIMUM SIDE YARD BUILDING SETBACK	30'	33'
MINIMUM REAR YARD PARKING SETBACK	10'	55.4'
MINIMUM SIDE YARD PARKING SETBACK	7.5' (ALSO 7.5' FROM BUILDINGS)	N/A
MINIMUM ADDITIONAL BUFFER FROM RESIDENTIAL USE	30'	30' TO RESIDENTIAL
PARKING SPACE DIMENSIONS	9' x 18'	9' x 18'
MINIMUM NUMBER PARKING SPACES	RETAIL 1 SPACE/250 SF + 1 SPACE/2 EMPL. (MAX SHIFT) 3,837 SF x 1 SP/250 SF + 4 EMPL. (ASSUMED) x 1 SP/2 EMPL. = 18 SPACES REQUIRED	
*WAREHOUSE/IN-HOUSE REPAIR GARAGE & OTHER USES: 1 SPACE/1,200 SF 30,000 SF x 1 SP/1200 SF = 25 SPACES REQUIRED		
MAXIMUM BUILDING HEIGHT	40' (3 STORIES)	< 40'
MAXIMUM LOT COVERAGE	35%	33,837 SF / 326,780 SF = 10.4%
MAXIMUM FREESTANDING SIGN AREA, HEIGHT AND SETBACK	60 SF, 20' HEIGHT (ONE SIGN PER BUILDING) 5' MIN. SETBACK	1 SIGN
MAXIMUM WALL SIGN AREA	33% OF WALL	NOT TO EXCEED 33% OF WALL

* APPROVAL GRANTED FROM THE METHUEN ZONING BOARD OF APPEALS ON AUGUST 26, 2020 FOR A SPECIAL PERMIT UNDER SECTION XI-B OF THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF METHUEN (THE "ZONING ORDINANCE") TO ALLOW THE USE OF THE PROPERTY AS A CONTRACTOR'S YARD WHICH MAY BE OPEN FOR SALES TO THE PUBLIC IN THREE MORTON STYLE BUILDINGS.

SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R7-8	DISABLED PARKING G/B/W	12" x 18" NEW SIGN WITH POST



LOCATION MAP

(NOT TO SCALE)

NOTES:

- 1) ZONE: HIGHWAY BUSINESS (BH)
- 2) SETBACKS: * FRONT: 25'
* SIDE: 30'
* REAR: 30'
* ADDITIONAL BUFFER ZONE OF 30' IS ADDED TO SETBACK AREA WHEN ADJACENT TO RESIDENTIAL DISTRICT.
- 3) LOT AREA = 763.159 SF, 18.77 Ac.± (COMBINED LOTS 4 & 4C)
326,780 SF (METHUEN)
436,378 SF (HAVERHILL)
- 4) EXISTING USE: TWO 2-STORY RESIDENTIAL HOMES & GARDEN CENTER
PROPOSED USE: CONTRACTOR BUILDINGS AND RETAIL STORE
- 5) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010, OR LATEST REVISION.
- 6) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPARED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- 7) WRITTEN DIMENSIONS ON THIS PLAN TAKE PREFERENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- 9) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF METHUEN AND THE STATE OF MASSACHUSETTS.
- 10) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 25009CC0086F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.
- 11) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- 12) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN PEDERSEN, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL ENSURE AND GUARANTEE THAT THE PLAN SET DOES NOT EXCLUDE ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 13) ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISELS.
- 14) REFER TO DETAIL SHEETS FOR ALL SITE DEVELOPMENT DETAILS AND INFORMATION.
- 15) EXISTING IMPERVIOUS COVERAGE = 84,924 SF (10.4%)
PROPOSED IMPERVIOUS COVERAGE = 133,631 SF (16.3%)
- 16) A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.

REVISIONS

NO.	REVISION	DATE
		OCTOBER 1, 2020

DRAWN/DESIGN BY SJB/CMT CHECKED BY FCM

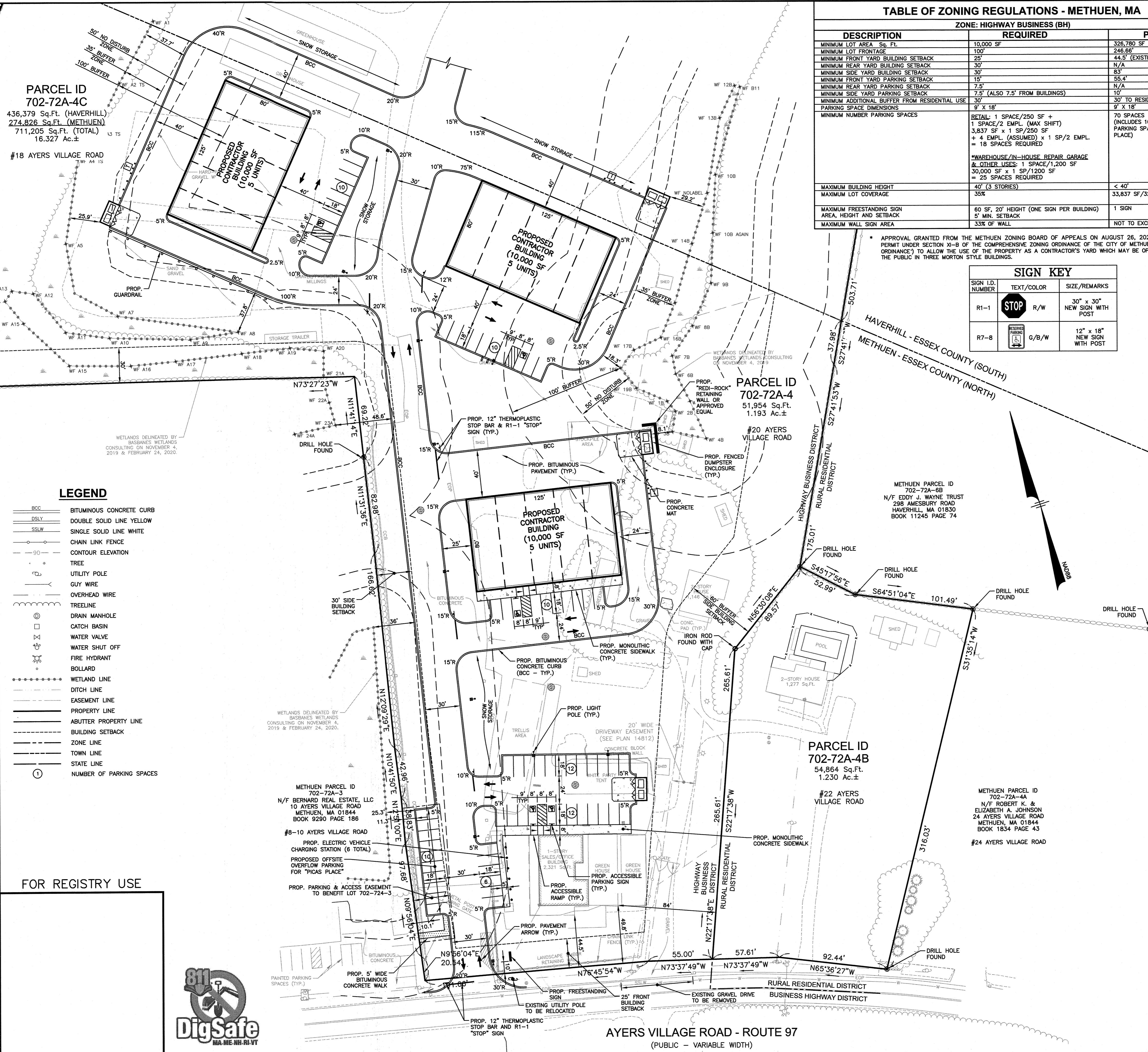
SITE PLAN

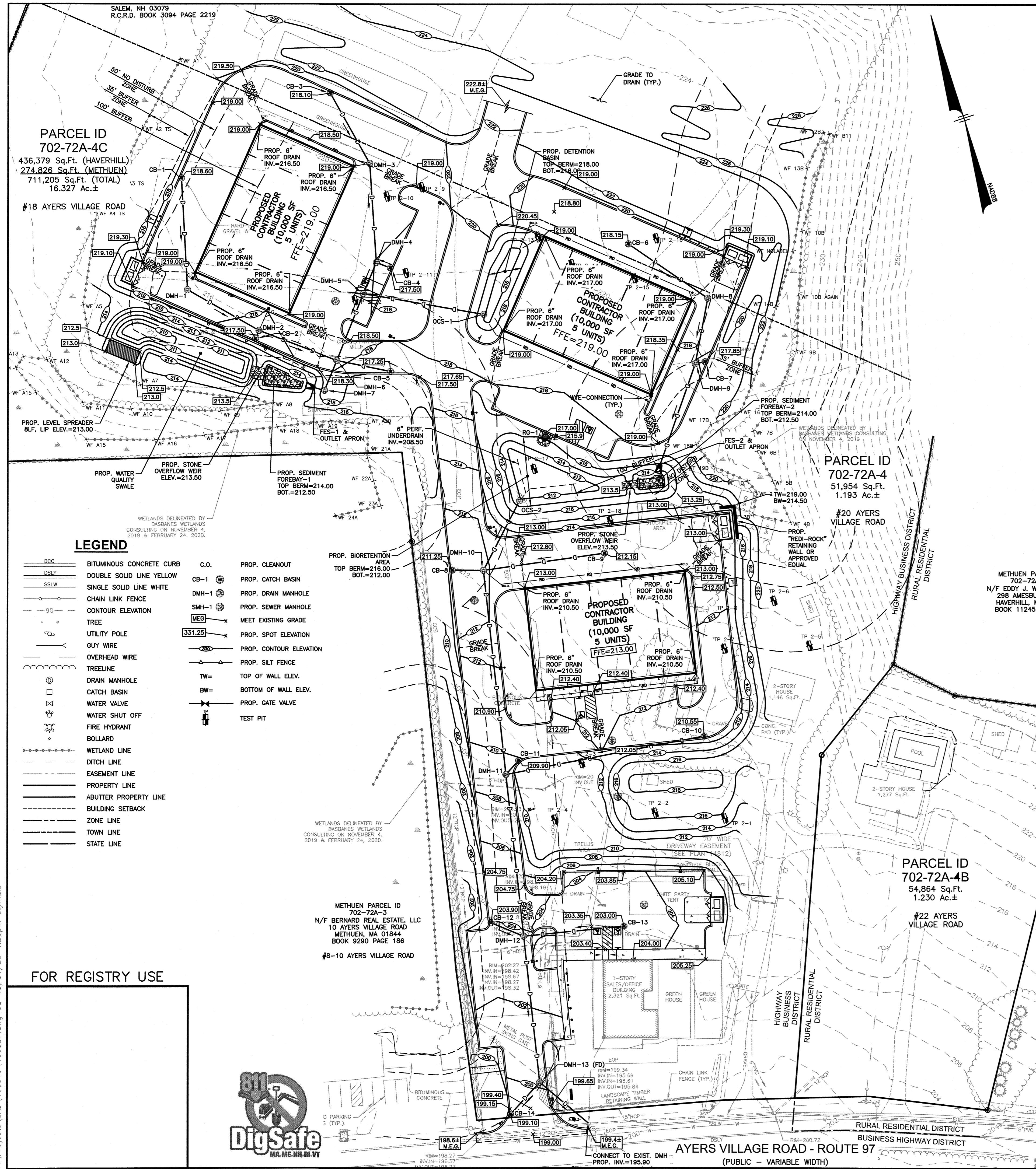
APPROVED BY THE CITY OF METHUEN COMMUNITY DEVELOPMENT BOARD

SCALE: 1" = 40'

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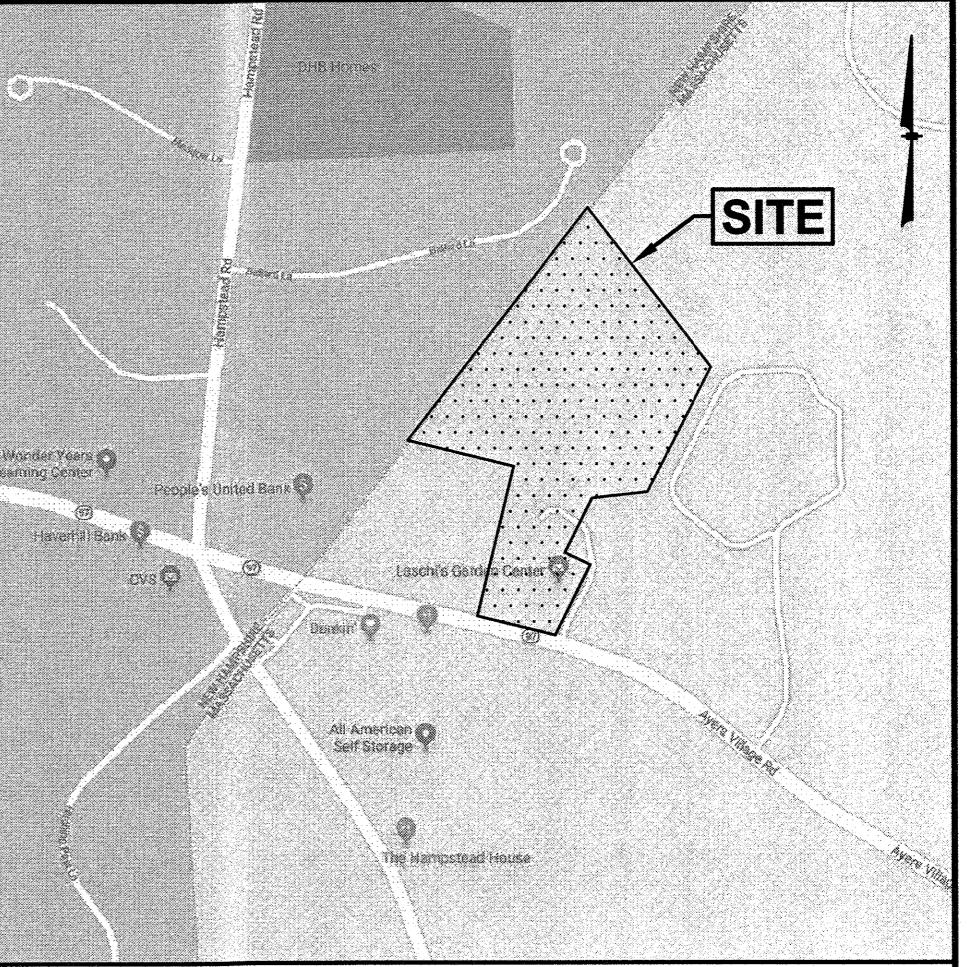
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PREPARED FOR
SONNY VALLEY, LLC
2 WATERFORD CIRCLE
METHUEN, MA 01844

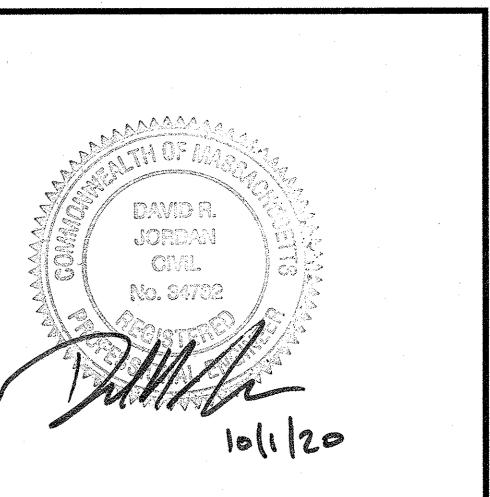
**PARCEL ID 702-72A-4 & 702-72A-4C
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LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE FIELD ENGINEER PRIOR TO INSTALLATION.
- 2) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3) CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES REGARDING UTILITY CONNECTIONS AND LOADING REQUIREMENTS. ALL UTILITY CONNECTIONS TO BE UNDERGROUND.
- 4) THE CONTRACTOR SHALL CALL DIOSAFE (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- 5) ALL SANITARY SEWER WORK SHALL MEET CITY OF METHUEN SPECIFICATIONS.
- 6) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED. THE BUILDING SEWER THROUGH THE FOUNDATION AND UP TO A PERPENDICULAR DISTANCE OF 10 FEET FROM THE FOUNDATION SHALL BE CONSTRUCTED OF CAST IRON.
- 7) ALL SANITARY SEWER PIPE CONNECTIONS AT PRECAST STRUCTURES AND SHALL BE WATER-TIGHT BY USE OF A "QWIKSEAL" CONNECTOR OR APPROVED EQUAL.
- 8) ALL WATER SERVICE CONNECTIONS SHALL MEET METHUEN WATER DISTRICT SPECIFICATIONS.
- 9) ALL WATER PIPE SHALL BE COPPER, UNLESS OTHERWISE NOTED ON PLAN.
- 10) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 11) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 12) THE SITE IS SERVICED BY MUNICIPAL WATER PROVIDED BY THE CITY OF METHUEN. THE CONTRACTOR IS TO COORDINATE WITH THE DISTRICT REGARDING WATER PRESSURE AT SERVICE. THE CONTRACTOR IS TO VERIFY IF PRESSURE REDUCING VALVE IS REQUIRED.
- 13) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 14) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO METHUEN DPW (AS APPLICABLE), SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 15) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 16) SEE SEWAGE DISPOSAL PLAN FOR FINAL LOCATION AND INFORMATION ON SEWER COMPONENTS.

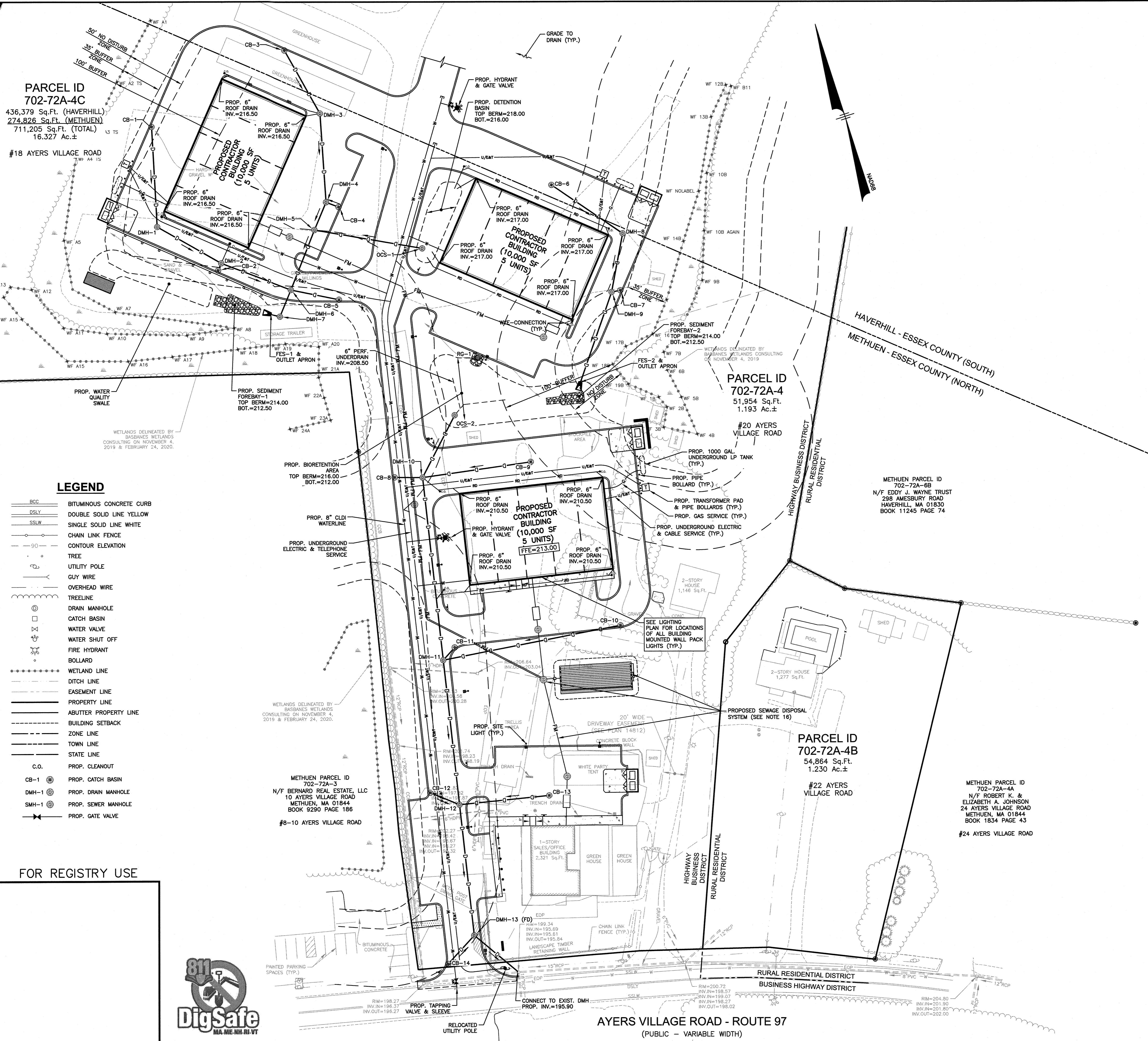


10/1/20

REVISIONS		

NO. REVISION DATE
OCTOBER 1, 2020
DRAWN/DESIGN BY SJB/CMT CHECKED BY FCM

UTILITY PLAN	
SCALE: 1"=40'	
NEX-466019.00	
6 OF 12	
HEARING	



EPARED FOR
SONNY VALLEY, LLC
2 WATERFORD CIRCLE
METHUEN, MA 01844

CONSTRUCTION SEQUENCE:

1. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.

2. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.

3. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.

4. CONSTRUCT CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.

5. PERFORM SITE GRADING, PLACING SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.

6. INSTALL UNDERGROUND UTILITIES.

7. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.

8. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. REFER TO OPERATION AND MAINTENANCE PLAN FOR ADDITIONAL REQUIREMENTS AND INFORMATION. COPIES OF ALL INSPECTION REPORTS ARE TO BE PROVIDED TO THE CONSERVATION COMMISSION DURING CONSTRUCTION AND AVAILABLE UPON REQUEST AFTER CONSTRUCTION IS COMPLETED.

9. BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.

10. FINISH PAVING ALL DRIVES AND PARKING AREAS.

11. COMPLETE PERMANENT SEEDING AND LANDSCAPING.

12. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION

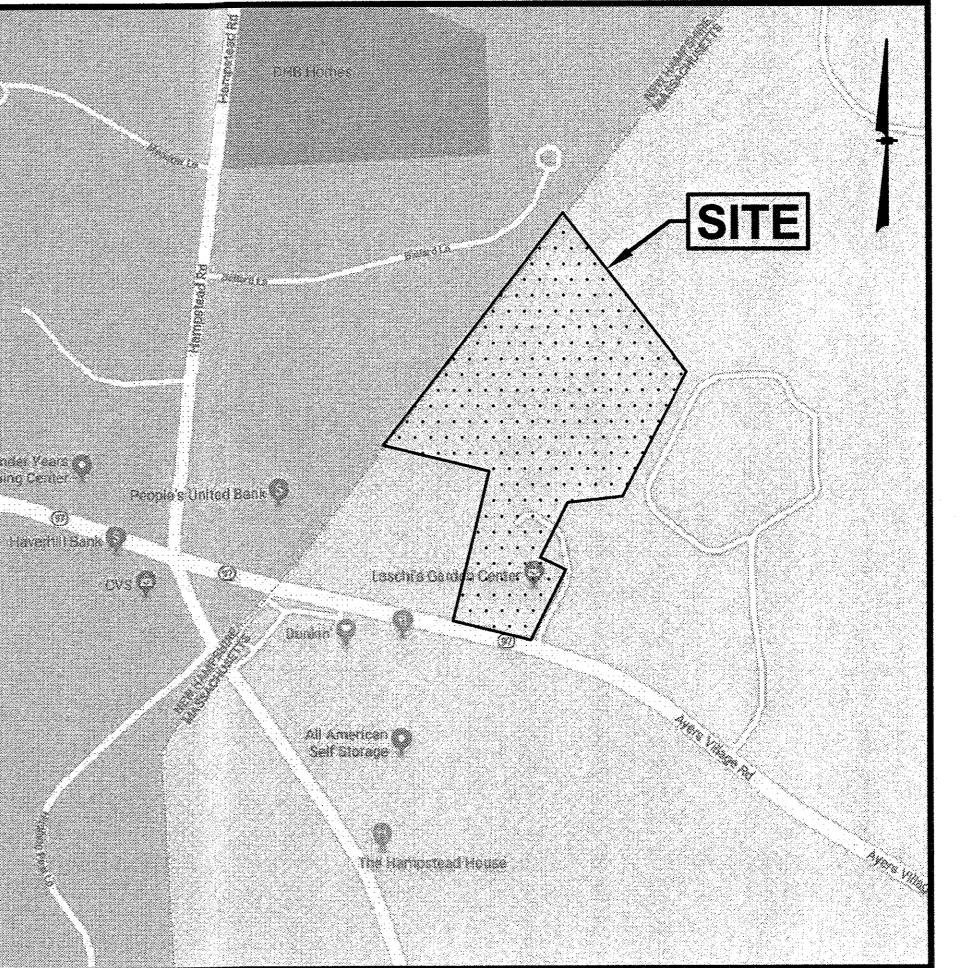
CONTROL MEASURES:

- 1) SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 2) MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 3) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 4) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 5) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 6 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 6) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUEGRASS, REDTOP, PERENNIAL RYEGRASS.
- 7) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 8) PAVED ROADWAYS AND PARKING LOTS MUST BE KEPT CLEAN AT ALL TIMES. PROVIDE SWEEPING ON A DAILY BASIS OR AS DIRECTED BY THE TOWN.
- 9) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION - SEE DETAIL.
- 10) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.

TEMPORARY EROSION CONTROL MEASURES:

CONTROL MEASURES.

- 1) SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 2) MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 3) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 4) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 5) ALL DISTURBED AREAS SHALL BE LOAMED AND SEDED. A MINIMUM OF 6 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
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- 8) PAVED ROADWAYS AND PARKING LOTS MUST BE KEPT CLEAN AT ALL TIMES. PROVIDE SWEEPING ON A DAILY BASIS OR AS DIRECTED BY THE TOWN.
- 9) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION - SEE DETAIL.



LOCATION MAP

OPERATIONS/MAINTENANCE PLAN FOR STORMWATER SYSTEM

ONSTRUCTION PHASE:
THE OWNER'S ASSOCIATES WITH THIS PROJECT WILL BE OWNED BY CONNEX VALLEY, LLC.

HE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY SONNY VALLEY, LLC. WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE.

THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS BY GREENMAN-PEDERSEN, INC.

PRIOR TO CONSTRUCTION, ALL EROSION/SILT CONTROL DEVICES SHOWN ON ABOVE PLAN ARE TO BE INSTALLED. TO PREVENT SILT INTRUSION INTO SURROUNDING AREAS DURING CONSTRUCTION, THE CONTRACTOR IS TO SET SILT FENCING AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES OR ABUTTING PROPERTY. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

ALL CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY INSPECTORS FROM THE CITY OF METHUEN AND BY AN AUTHORIZED AGENT TO VERIFY CONFORMANCE TO THE DESIGN PLAN.

THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:

- A) CLEAR, GRUB, EXCAVATE AREAS FOR DETENTION SYSTEMS.
- B) INSTALL CATCH BASINS, PIPES AND MANHOLES.

EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS. UPON DISCOVERY OF SILTATION BUILD-UP IN ANY CATCH BASIN SUMP OR ANY OTHER STRUCTURE, CLEANING SHALL BE PERFORMED WITHIN 24 HOURS.

ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY.

UPON INSTALLATION OF CATCH BASINS, INLET PROTECTION - AS DESCRIBED ON AFOREMENTIONED PLAN - SHALL BE INSTALLED AND MAINTAINED UNTIL READY FOR PAVING.

PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A DAILY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.

AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN ON A MONTHLY BASIS.

INSPECTIONS ARE TO BE PERFORMED AND INSPECTION LOGS FILLED OUT ON A WEEKLY BASIS FROM THE START OF CONSTRUCTION THROUGH FINAL STABILIZATION. THE START OF CONSTRUCTION MEANS THE INITIAL DISTURBANCE OF SOILS ASSOCIATED WITH CONSTRUCTION. FINAL STABILIZATION MEANS 70% VEGETATIVE GROWTH FOR UNPAVED AREAS.

POST CONSTRUCTION PHASE:

THE OWNER IS TO BE RESPONSIBLE FOR CONTINUED MAINTENANCE OF ALL ONSITE DRAINAGE STRUCTURES & SYSTEMS. THE FUTURE OWNER IS EXPECTED TO BE SONNY VALLEY, LLC. WHO WILL ULTIMATELY BE RESPONSIBLE FOR COMPLIANCE WITH THE O&M PLAN.

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

- INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, MANHOLES & DETENTION SYSTEMS) EVERY THREE MONTHS. DURING THE FIRST YEAR OF OPERATION, ALL DRAINAGE FACILITIES SHOULD BE INSPECTED AFTER EVERY STORM, AND 2-3 DAYS AFTERWARD. DURING THESE INSPECTIONS, THE INSPECTOR AS DESIGNATED BY SONNY VALLEY, LLC. SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS), AND IMPROPER FUNCTION. REPORTS SHALL BE FILED FOR EVERY INSPECTION AND SUBMITTED TO THE TOWN ENGINEER FOR COMPLIANCE FOR ONE (1) YEAR AFTER THE ISSUANCE OF THE OCCUPANCY PERMIT OR UNTIL DEEMED NECESSARY BY THE TOWN ENGINEER.
- AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR SHALL NOTIFY THE DEVELOPER, WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND SEDIMENT REMOVAL.
- PARKING AREAS ARE TO BE SWEPT CLEAN EVERY MONTH SPRING THROUGH FALL AND OTHERWISE AS NEEDED (I.E. VISUALLY NOTICEABLE DEBRIS BUILD-UP).
- THE CATCH BASINS AND DRAINAGE SYSTEM ARE TO BE INSPECTED EVERY THREE MONTHS. REMOVE OIL, DEBRIS AND SEDIMENT AFTER INSPECTIONS.
- ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPON DISCOVERY OF ANY FAILURE (I.E. EROSION) LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
- DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOWMELT IS CONTROLLED. IN THE EVENT THE AMOUNT OF SNOW EXCEEDS SUCH CAPACITY, IT IS TO BE REMOVED OFF-SITE. THE MINIMUM AMOUNT OF DEICING CHEMICALS NEEDED IS TO BE USED.
- DURING THE SUMMER MONTHS, ALL LANDSCAPE FEATURES ARE TO BE MAINTAINED WITH THE MINIMUM POSSIBLE AMOUNT OF FERTILIZERS, PESTICIDES OR HERBICIDES. IF IN QUESTION, MAINTENANCE PERSONNEL SHOULD CHECK WITH THE CONSERVATION COMMISSION. ALL PERSONNEL INVOLVED WITH THE MAINTENANCE OF LANDSCAPING WILL BE INFORMED OF THIS CONDITION.

**PARCEL ID 702-72A-4 & 702-72A-4C
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11. *What is the name of the author of the book you are reading?*

REVISIONS

O.	REVISION	DATE
OCTOBER 1, 2020		
DRAWN/DESIGN BY		CHECKED BY

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'

NEX-466019.00

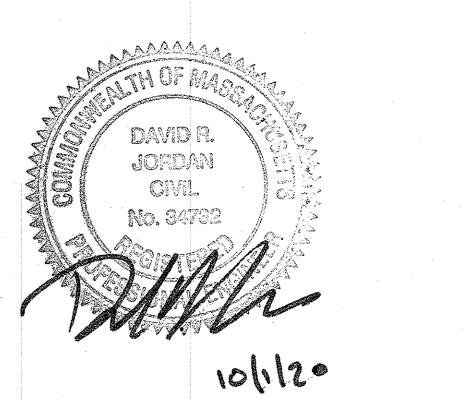
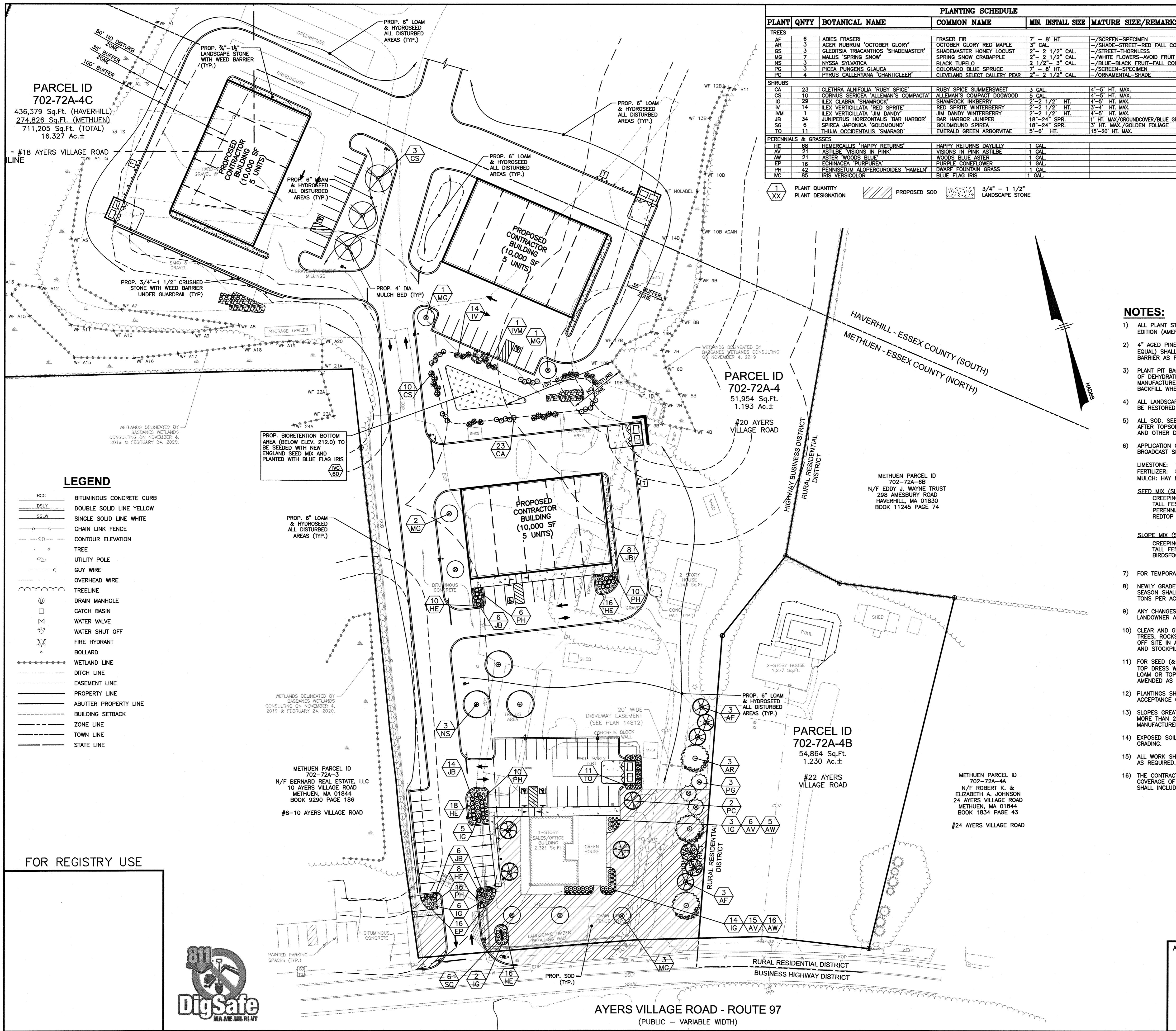
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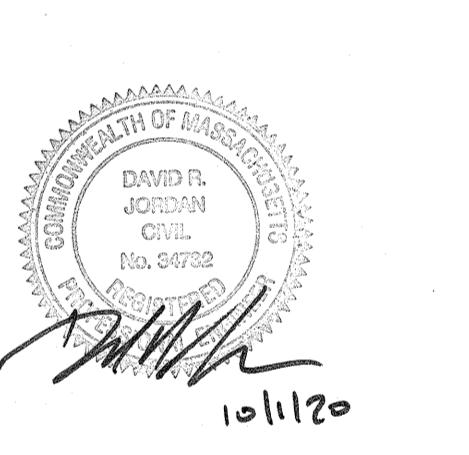
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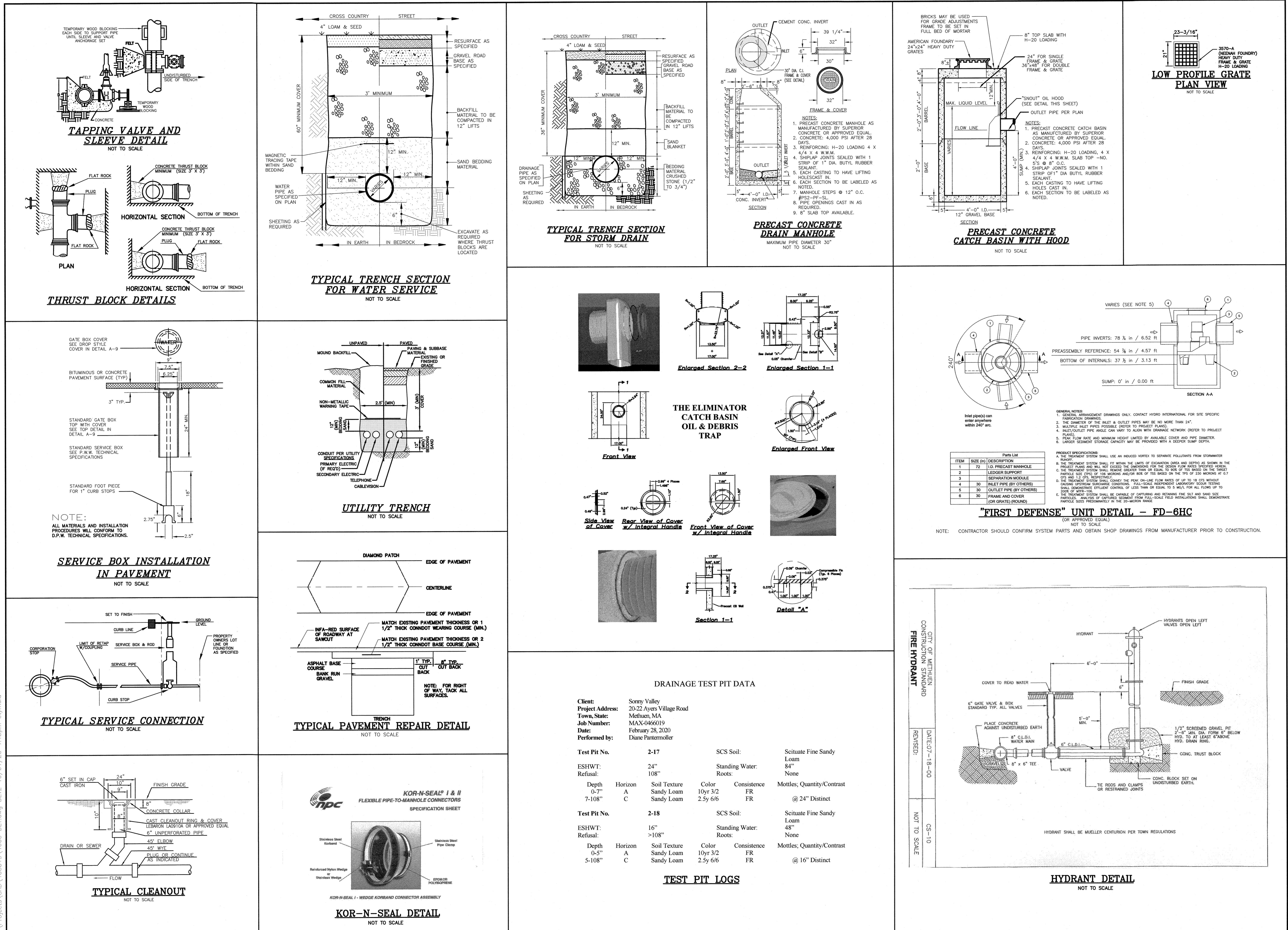
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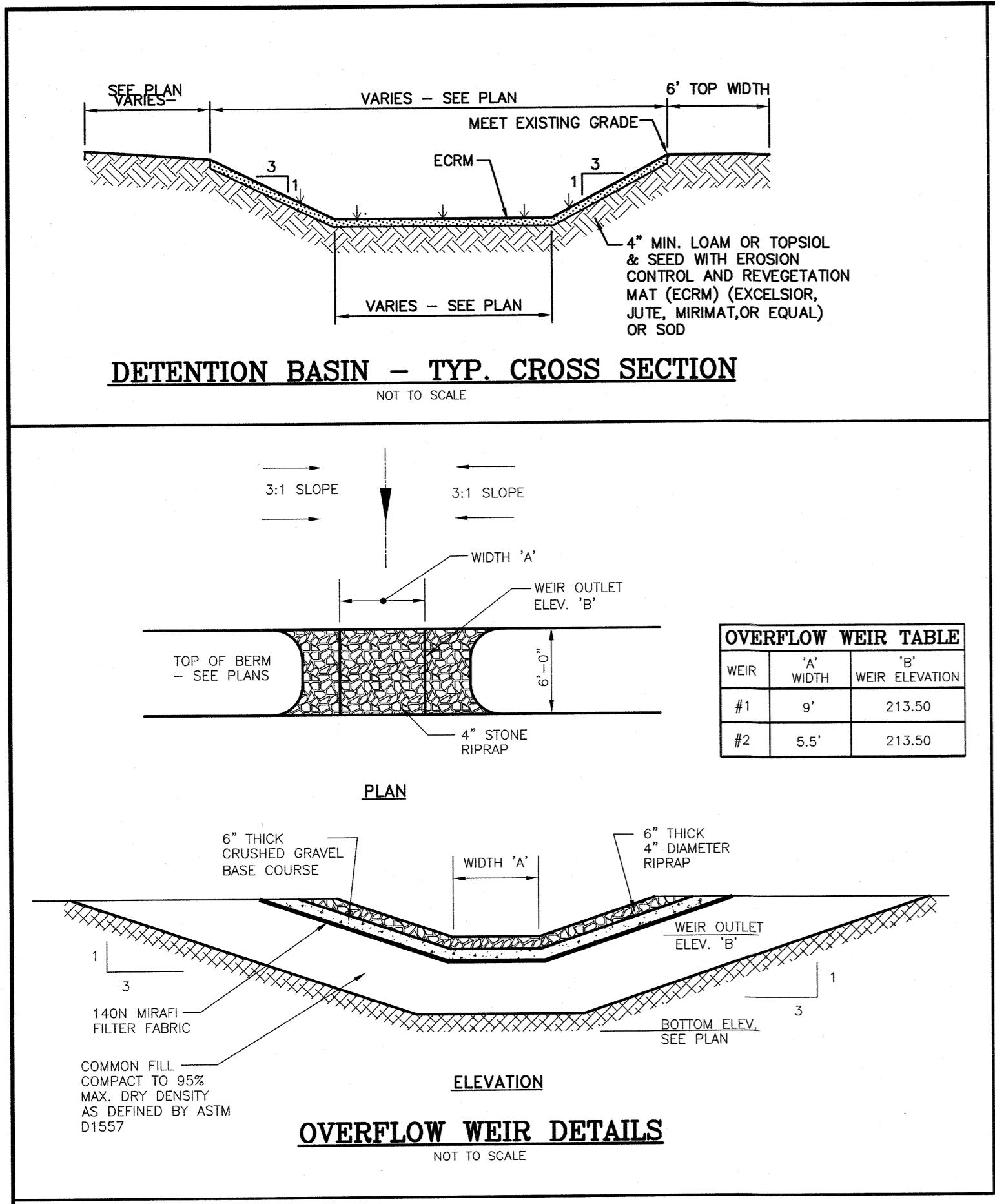


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DETAIL SHEET		
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SAFETY
PONDS THAT ARE EASILY ACCESSIBLE IN POPULATED AREAS SHOULD INCORPORATE ALL POSSIBLE SAFETY PRECAUTIONS. STEEP SIDE SLOPES SHOULD BE AVOIDED. IT IS RECOMMENDED THAT SIDE SLOPES OF 4:1 (HORIZONTAL TO VERTICAL) OR FLATTER BE USED WHERE THE TOPOGRAPHY PERMITS. IF THE TOPOGRAPHY WILL NOT ALLOW SUCH SLOPES THEN THE PERIMETER OF THE BASIN SHOULD BE FENCED. WARNING SIGNS AND LIFESAVING EQUIPMENT SHOULD BE AVAILABLE AT EACH STRUCTURE.

MAINTENANCE
MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS DESIGNED. THE OWNERSHIP AND MAINTENANCE OF THE DESIGNATED GROUP, SUCH AS A HOMEOWNERS ASSOCIATION OR HOME INDIVIDUAL, MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

1. EMBANKMENT - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENTS, WATERS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
2. VEGETATION - THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, INVASIVE PLANTS, AND DISEASE. WEED GROWTH, LIME, AND FERTILIZER SHOULD BE AVOIDED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
3. INLETS - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EACH MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
4. OUTLETS - OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EACH MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
5. SEDIMENT - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
6. SAFETY INSPECTIONS - ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.

DETENTION BASIN CONSTRUCTION

1. CLEAR AND GRUB THE AREA WHERE THE BASIN IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE ON SLOPES.
2. THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE EMBANKMENT SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
3. FILL MATERIAL SHALL BE FREE OF ORGANICS, FROZEN SOIL AND ROCKS GREATER THAN 6" IN DIAMETER.
4. SELECT MATERIALS SHALL BE PLACED AROUND STRUCTURES, PIPES, AND FILTER DIAPHRAMS. PLACE SELECT MATERIAL IN MAXIMUM 8" LIFTS COMPACTED TO 95% MAXIMUM PROCTOR DENSITY. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

EMBANKMENT	1" PASSING	2" PASSING	4" PASSING	6" PASSING	8" PASSING	10" PASSING	12" PASSING
SIEVE SIZE	% PASSING	% PASSING					
#200	100	100	70-100	5-15			

- 5) THE EMBANKMENT SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMLY ALONG ITS ENTIRE LENGTH. PLACE MAXIMUM 8" LIFTS COMPACTED TO 95% MAXIMUM PROCTOR DENSITY. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

EMBANKMENT	1" PASSING	2" PASSING	4" PASSING	6" PASSING	8" PASSING	10" PASSING	12" PASSING
SIEVE SIZE	% PASSING	% PASSING					
#200	100	100	25-85	15-25			

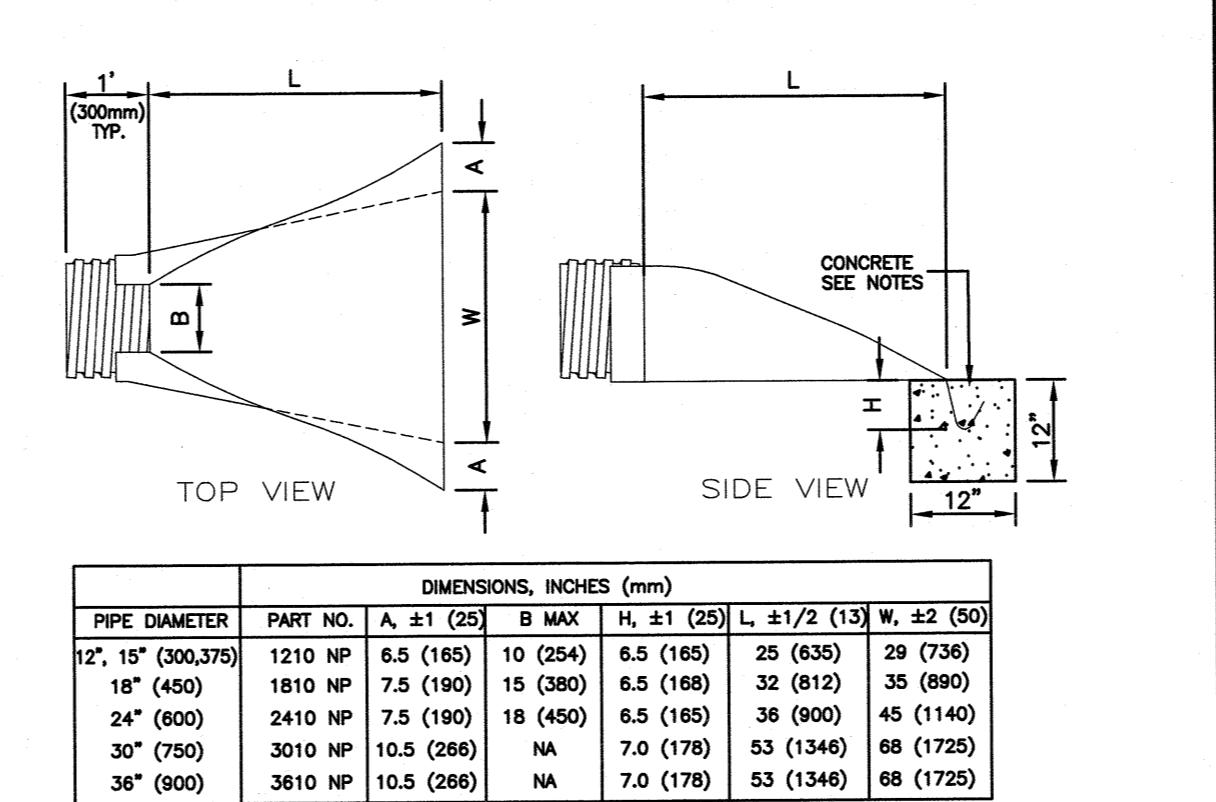
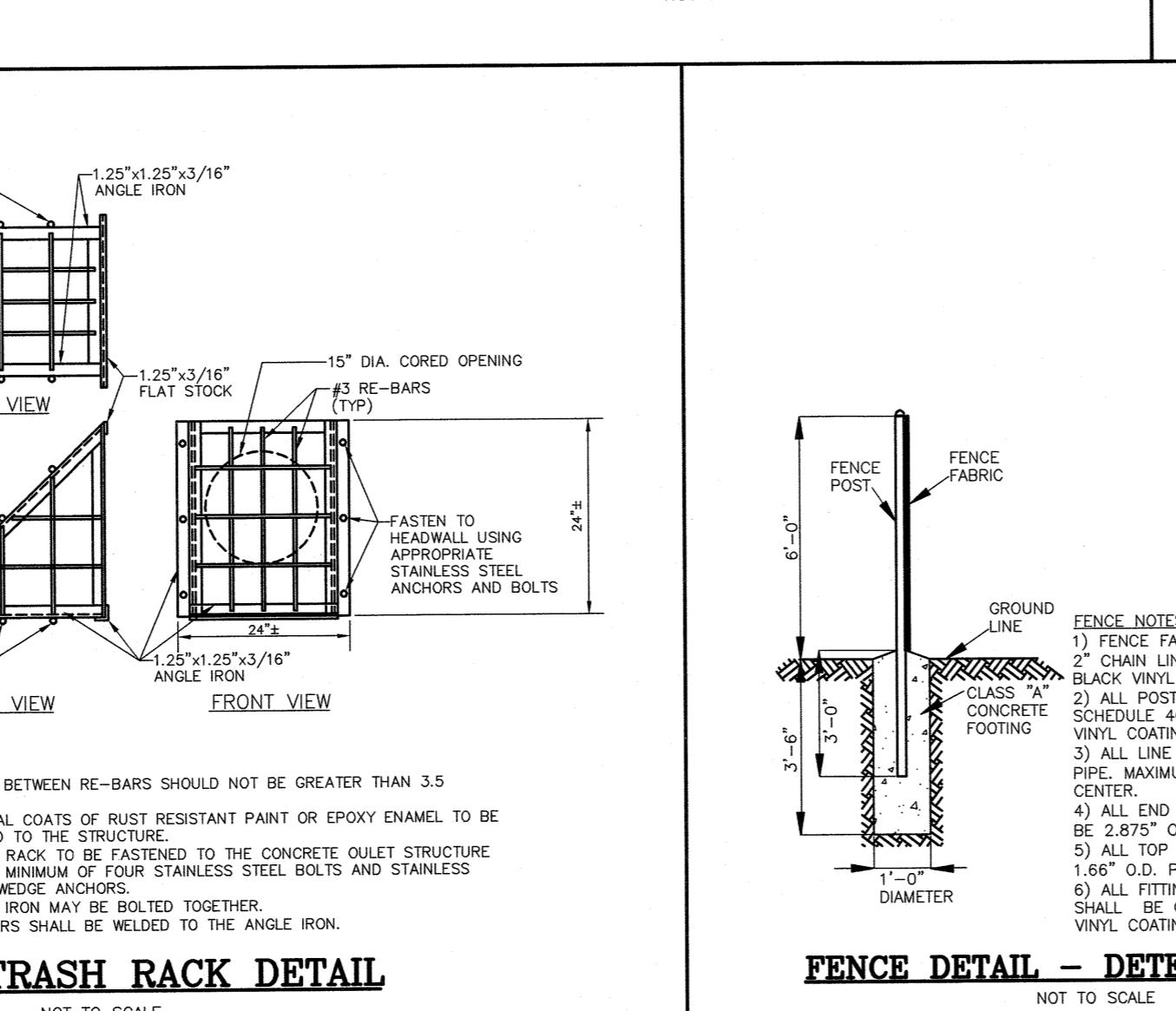
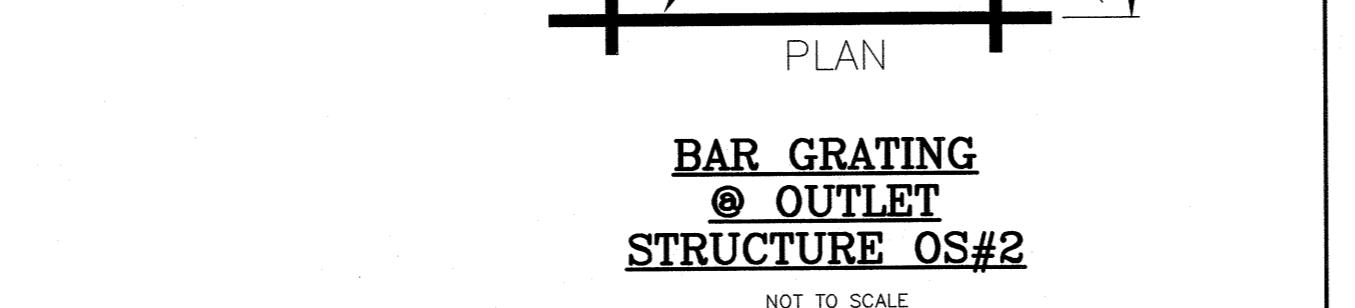
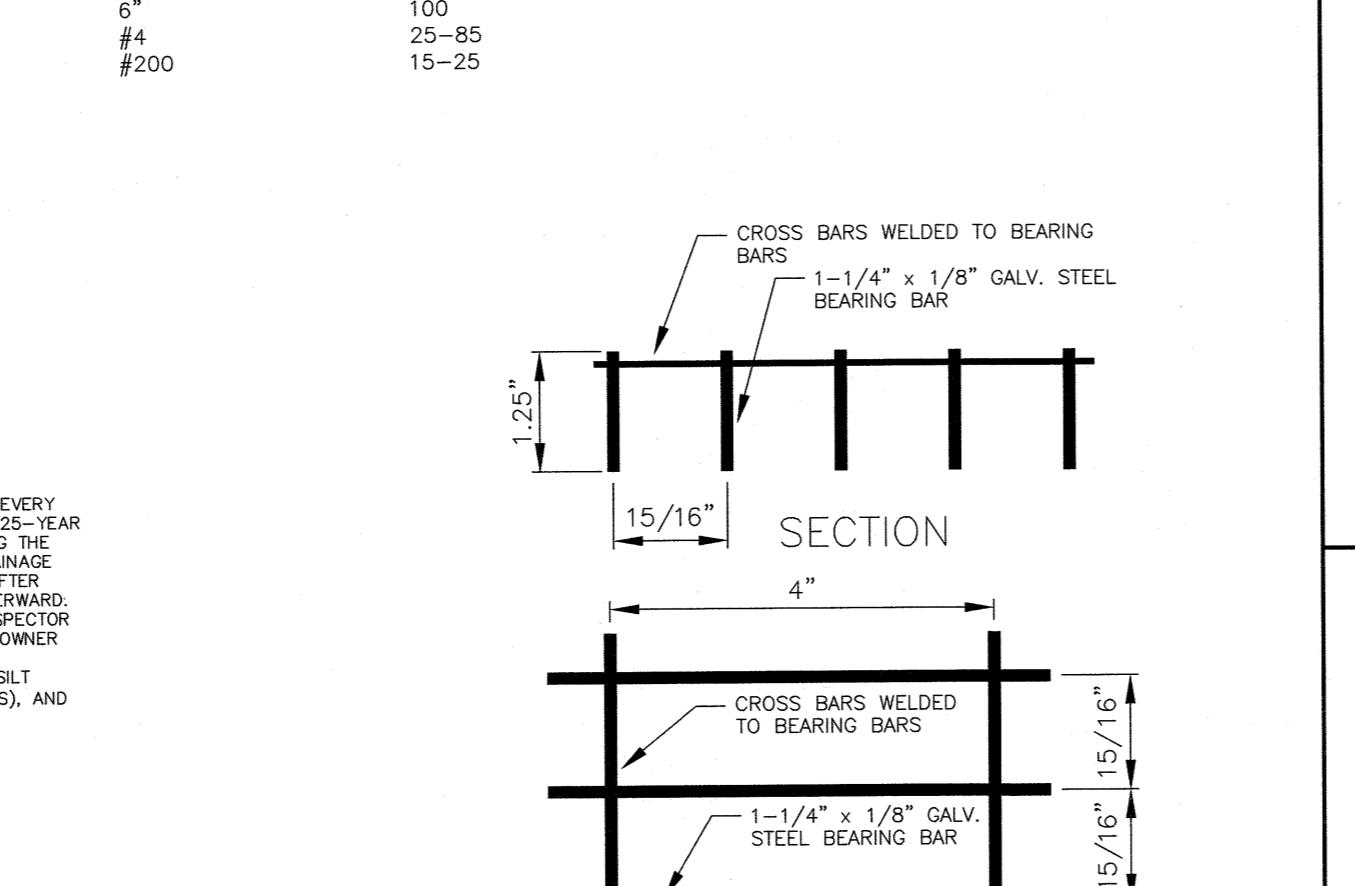
NOTES:

1. PRECAST CONCRETE MAN HOLES ARE MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL
2. CONCRETE: 4,000 PSI AFTER 28 DAYS
3. REINFORCEMENT: H-20 STIRRING, 4 X 4" #4, 4" #4 SLAB FOR NO. 5's @ 8" O.C.
4. SHIMS JOINED TO EMBANKMENT WITH 1 STRIP OF 1/4" DIA BUTYL RUBBER SEALANT
5. DO NOT FORGET TO HAVE LIFTING HOLES CAST IN LENGTH AND DIAMETER OF TEE Varies with Pipe.
6. LENGTH AND DIAMETER OF TEE Varies with Pipe.

OVERFLOW WEIR DETAILS
NOT TO SCALE

OVERFLOW WEIR TABLE

WEIR	'A' WIDTH	'B' ELEVATION
#1	9'	213.50
#2	5.5'	213.50



CONSTRUCTION SPECIFICATIONS:

PREPARE BEDDING:
BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENTLY MATTE THE END SECTION, EXCEPT AT THE INLET WHERE THE DITCH TRENCH SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.

PLACE END SECTION OF PIPE:
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS SEATED, CHECK TO MAKE SURE THAT THE END SECTION IS LEVEL WITH THE INLET AND THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.

SECURE THE END SECTION:
SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON ONE END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.

SECURE THE TOP TROUGH:
TO PREVENT WASHING AWAY THE TOP TROUGH, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE, POUR CONCRETE IN THE TROUGH UPTO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.

FINISH BACKFILL:
SHOW THE BACKFILL AROUND THE END SECTION IN 6 TO 8 INCH LAYERS EQUALLY ON BOTH SIDES, KNEADING IT TO ELIMINATE Voids. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNEADING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.



NOTES:

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.

2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM WOULD APPLY.

3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.

4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.

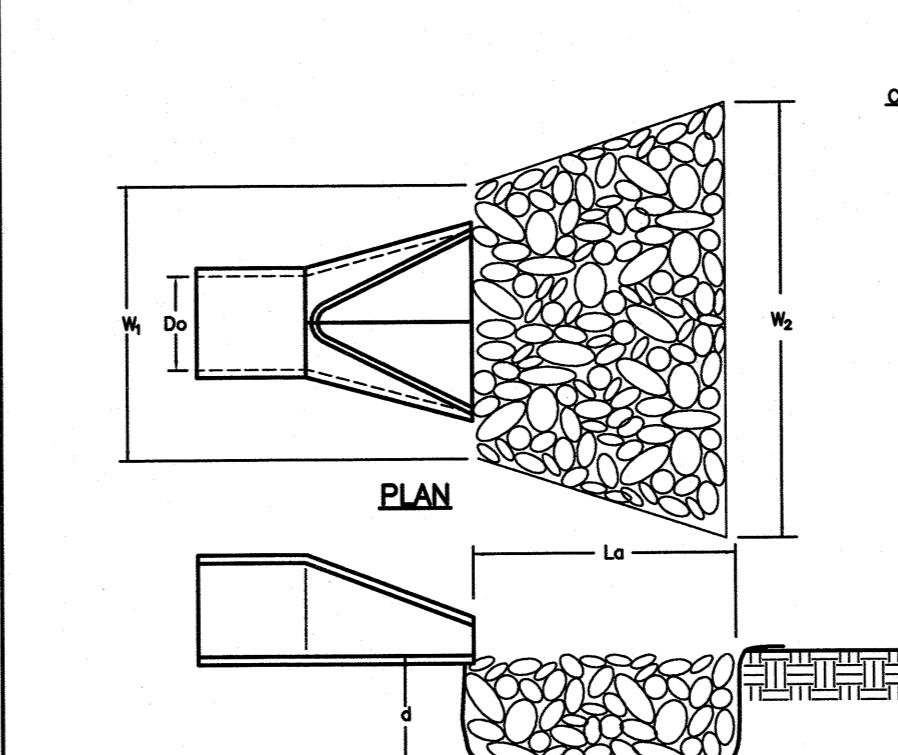
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE RESIDENTIAL LOT.

6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEFITING THE ENTRANCE IF POSSIBLE. IF NOT, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.

7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT AS NEEDED. STABILIZED ENTRANCES THAT ARE NOT MAINTAINED IN A PROPER CONDITION AND THAT ARE NOT TOPDRESSED AS REQUIRED MAY BE REMOVED PROMPTLY.

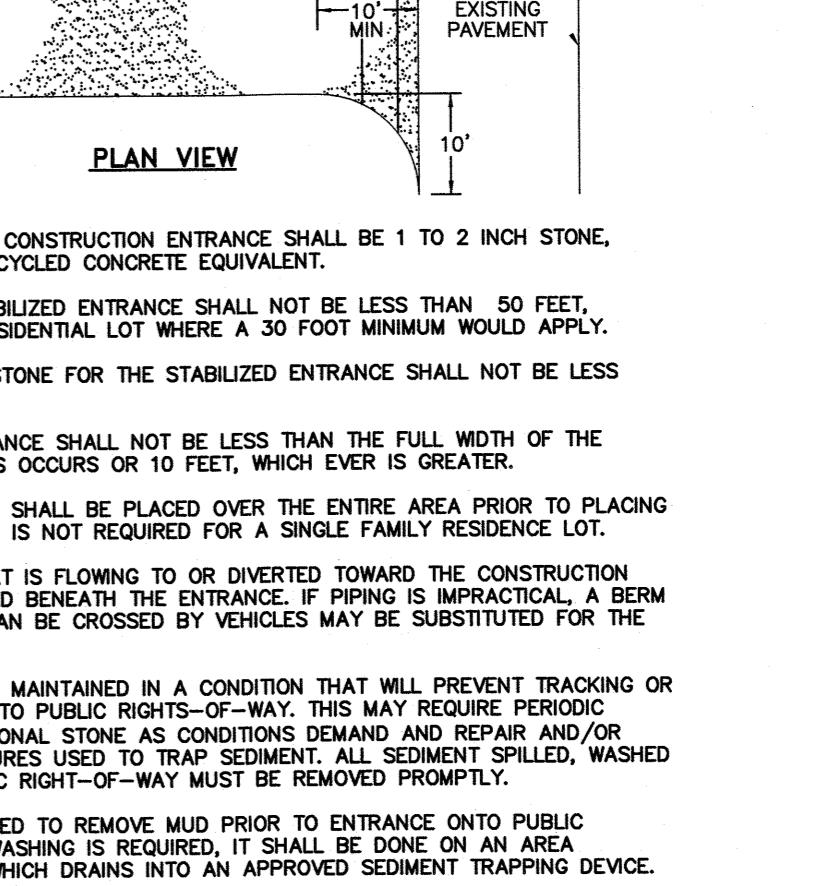
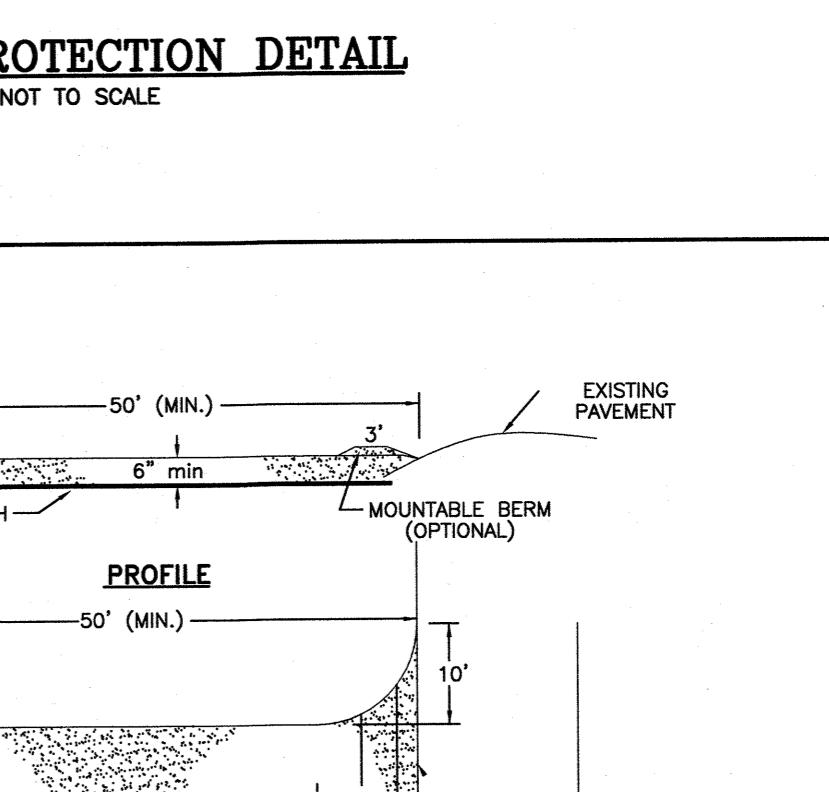
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

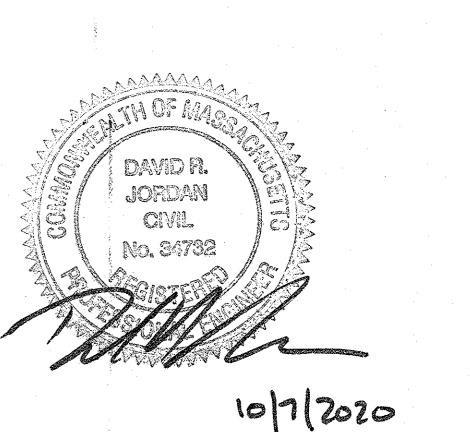


OUTLET	Do	La	W ₁	W ₂	d ₅₀	d
FES-1*	24"	25'	6'	16'	3"	7"
FES-2*	12"	16'	3'	9.5'	3"	7"

*OUTLET APRON SHALL BE PLACED ON ENTIRE SEDIMENT FOREBAY BOTTOM. SEE GRADING & DRAINAGE PLAN.



**PARCEL ID 702-72A-4 & 702-72A-4C
18-20 AYERS VILLAGE ROAD
METHUEN, MA**



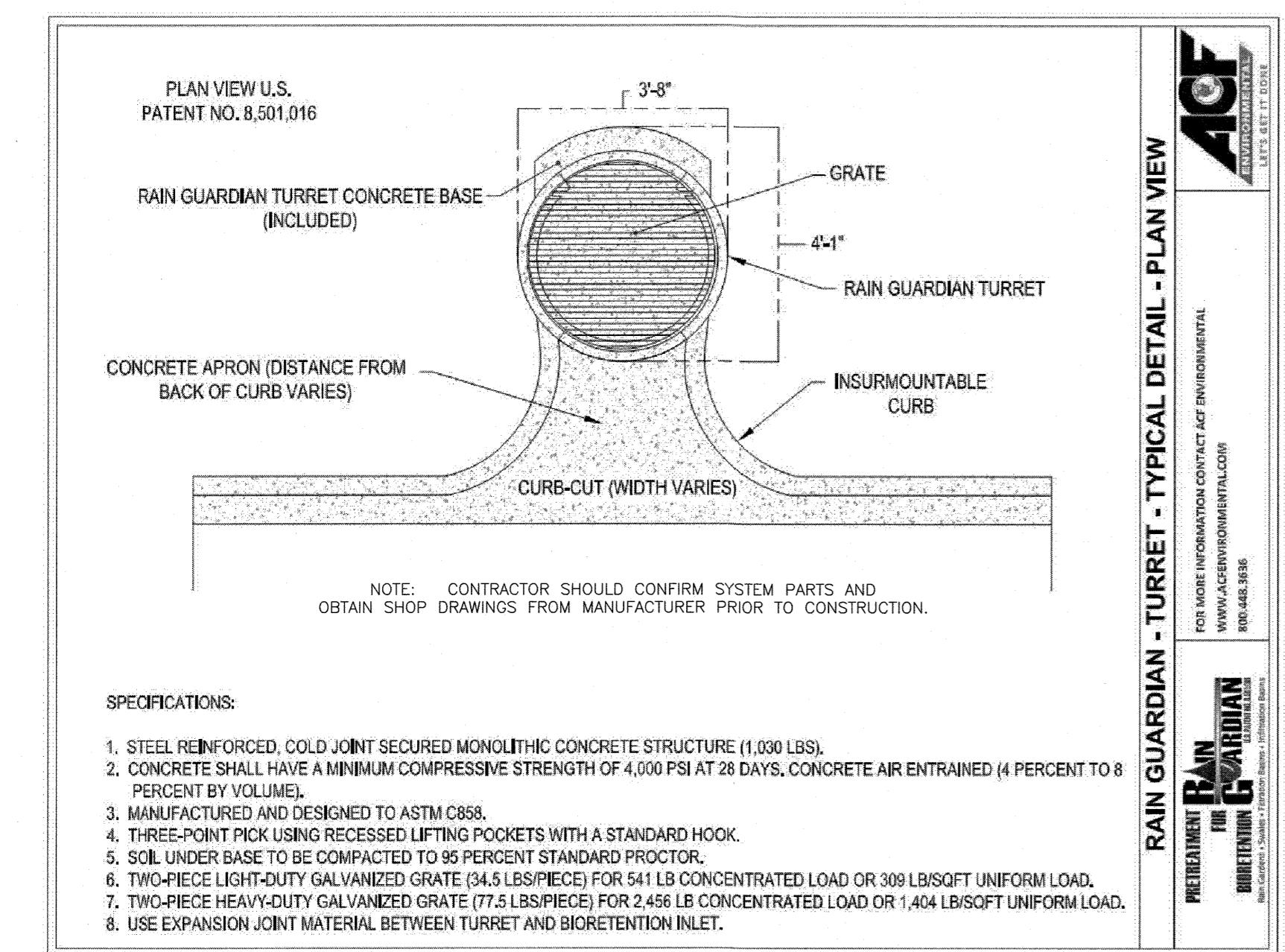
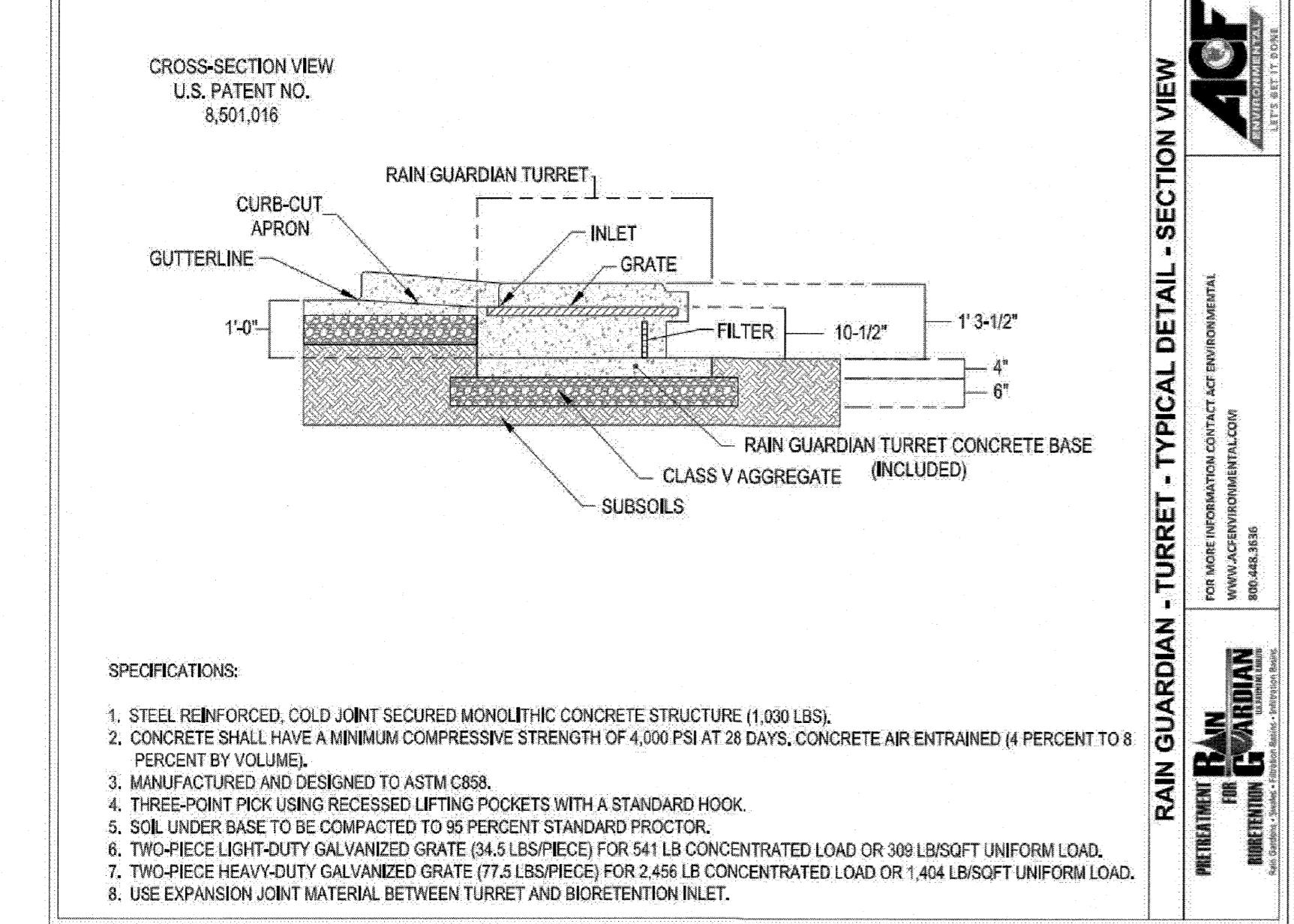
REVISIONS

1.	ADD SIGN DETAIL	10/6/20
NO.	REVISION	DATE
OCTOBER 1, 2020		
DRAWN/DESIGN BY	CHECKED BY	FCM

DETAIL SHEET

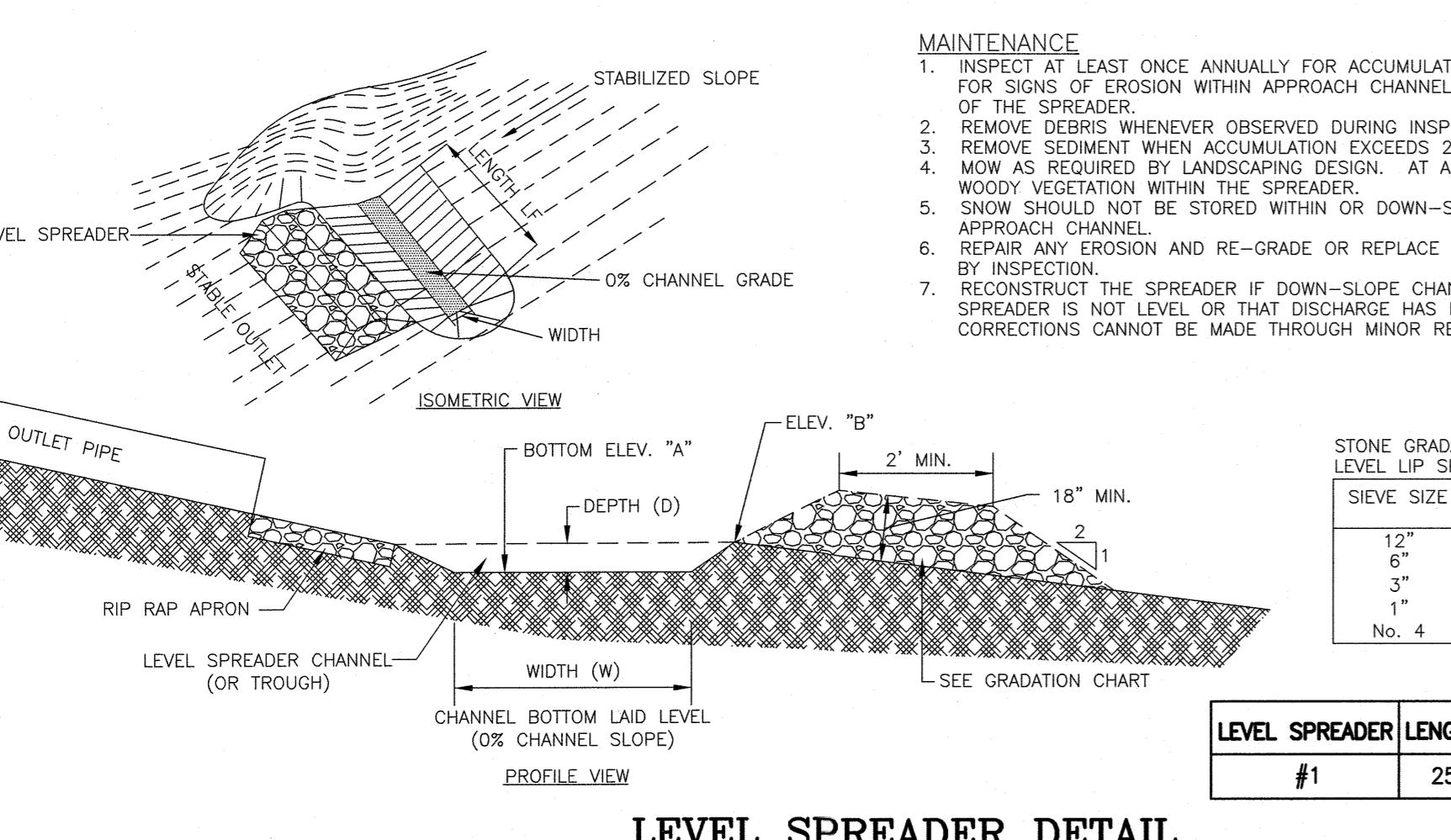
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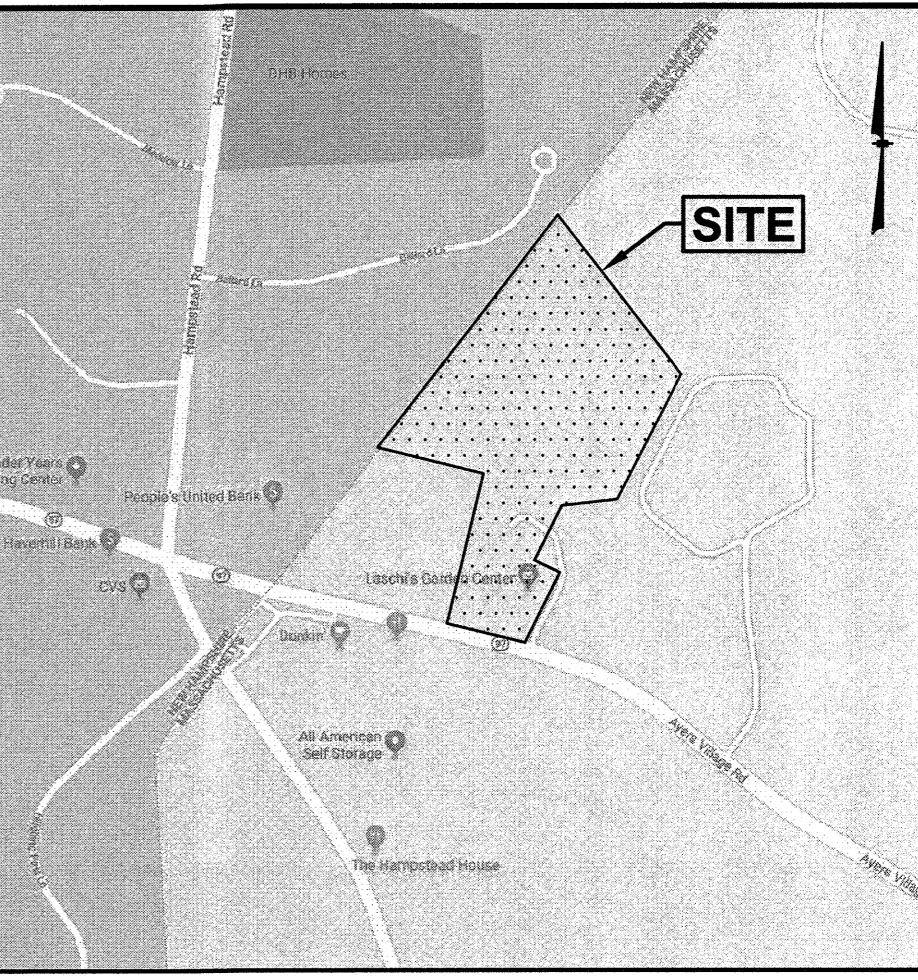
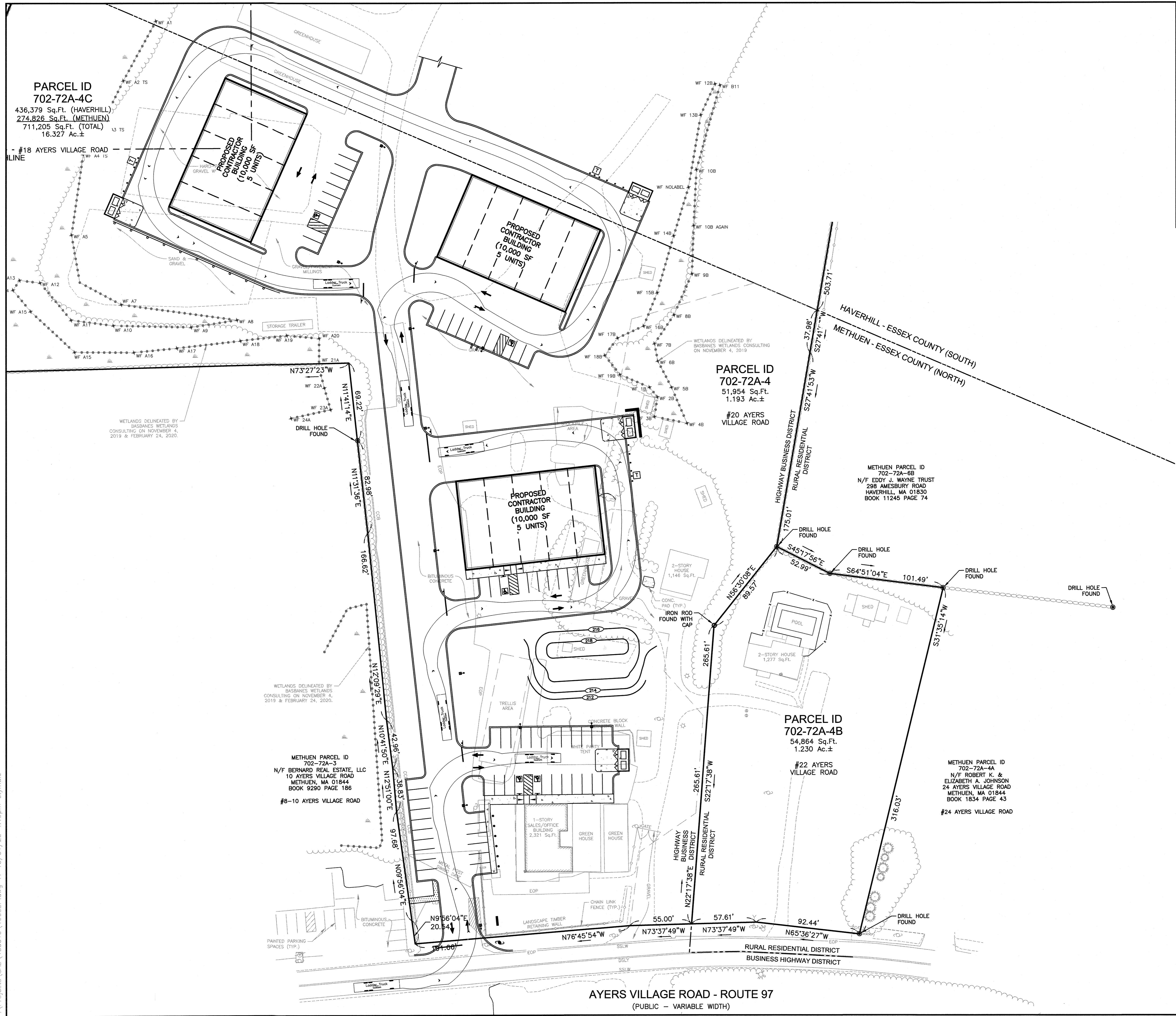
12 OF 12



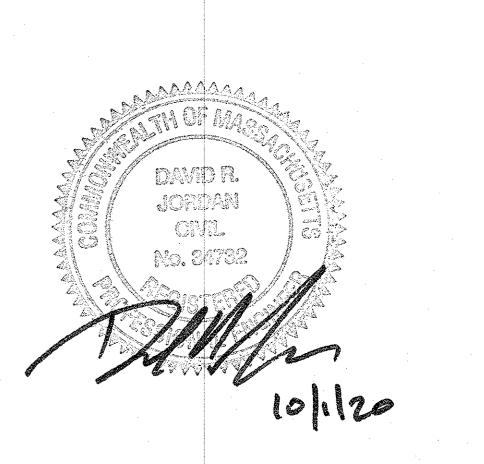
RAIN GUARDIAN DETAIL

NOT TO SCALE





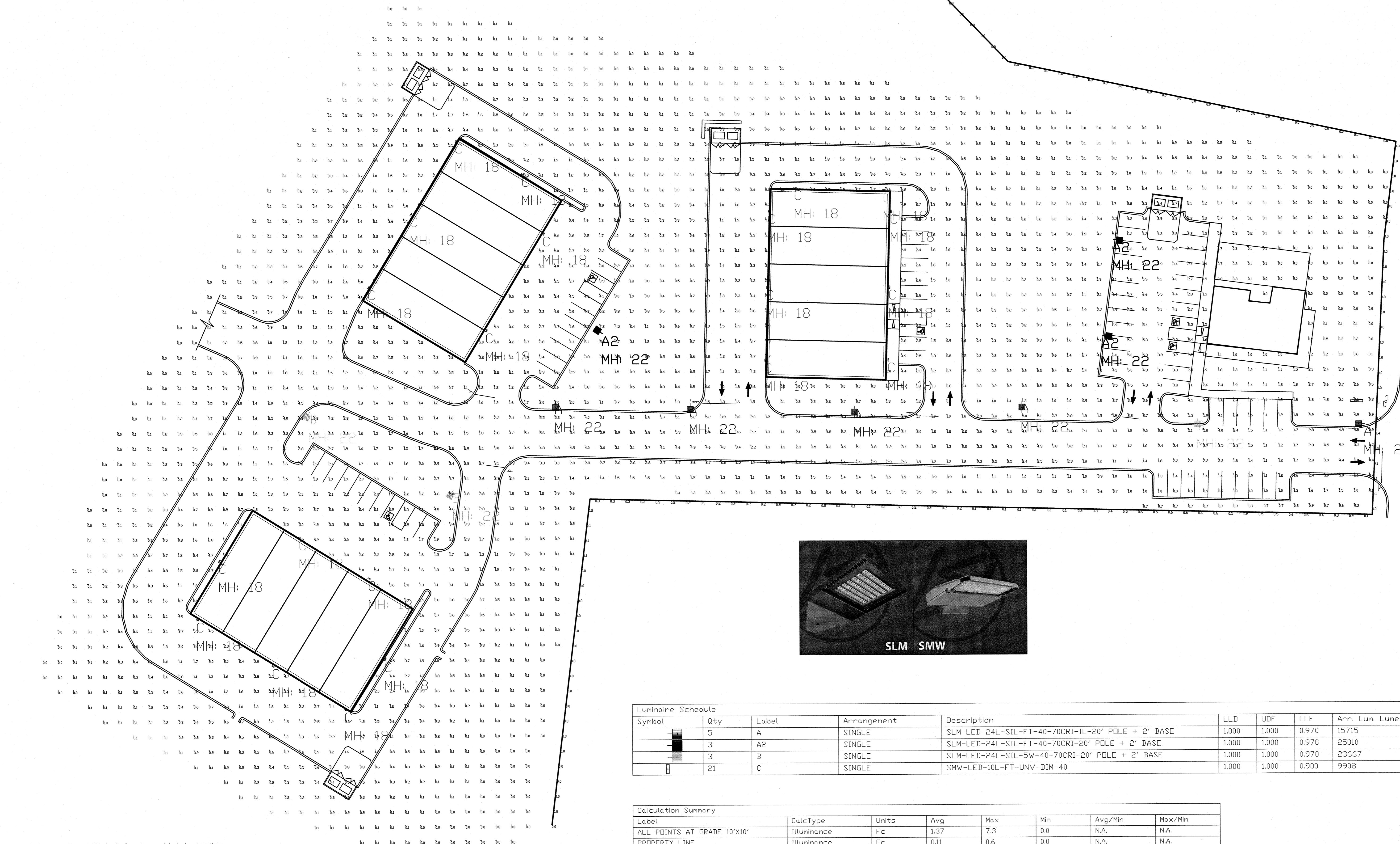
**PARCEL ID 702-72A-4 & 702-72A-4C
18-20 AYERS VILLAGE ROAD
METHUEN, MA**



NO.	REVISION	DATE
		OCTOBER 1, 2020

DRAWN/DESIGN BY SJB/CMT CHECKED BY FCM

SCALE: 1"=40'
NEX-466019.00
1 OF 1



AYERS VILLAGE ROAD - ROUTE 97
(PUBLIC - VARIABLE WIDTH)

Total Project Watts
Total Watts = 3714.8

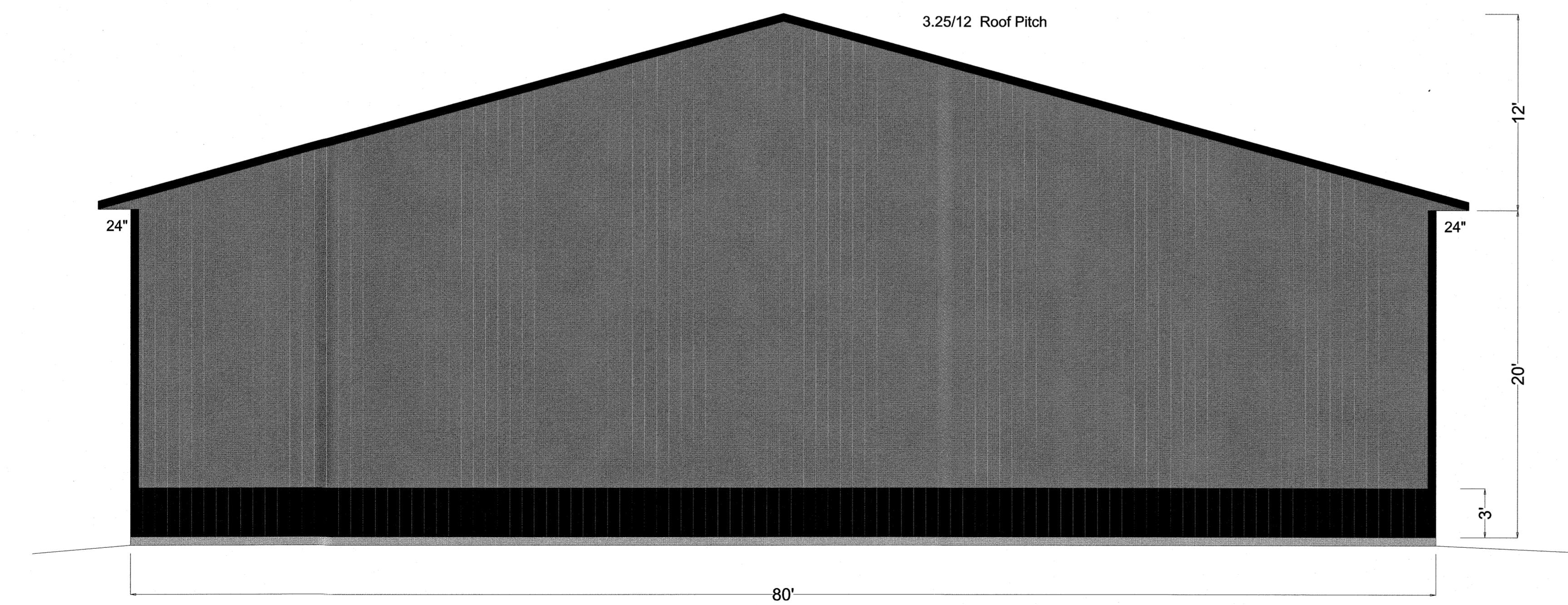


LIGHTING PROPOSAL LD-152211
SDNY VALLEY LLC
101 LINDBERG AVE.
METHUEN, MA
BYGET DATE 9/8/2020 REV: SHEET 1 OF 1
SCALE: 1'=30' 0

GPI PROJECT NO. 466019 SHEET 1 OF 1

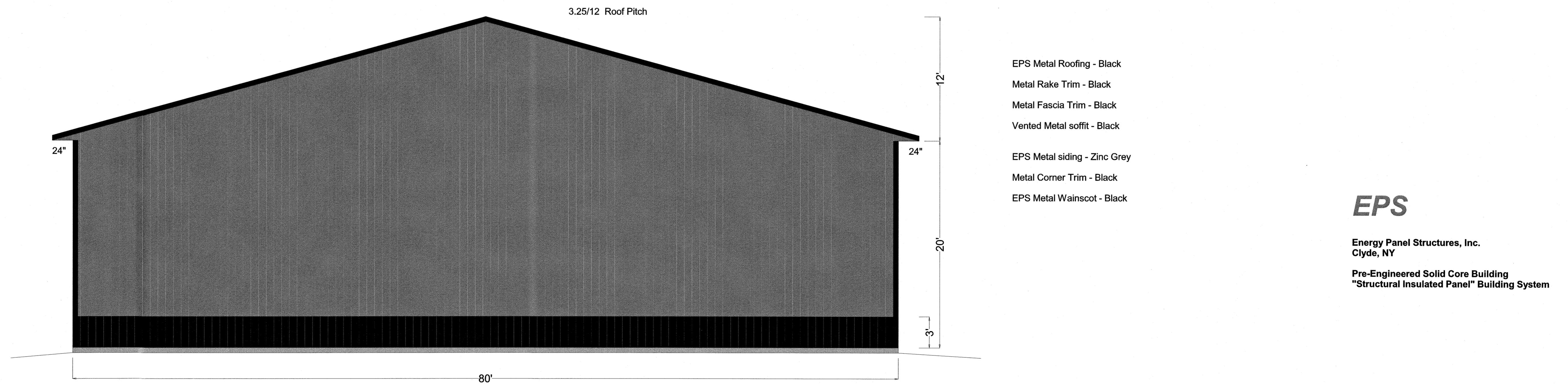
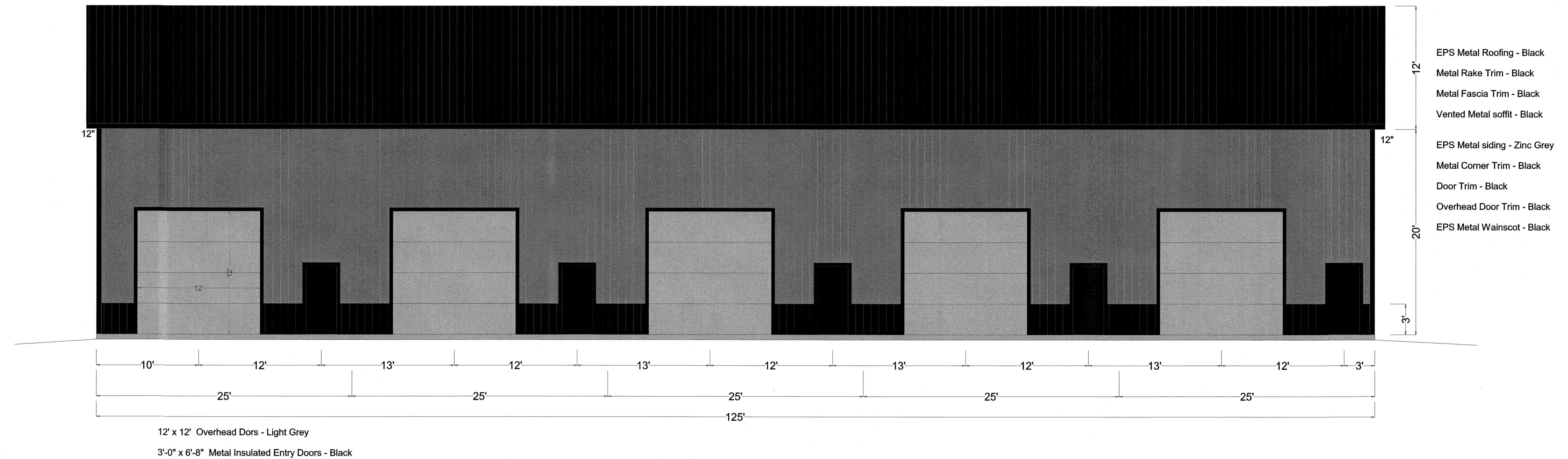


10' x 10' Overhead Dors - Light Grey
 3'-0" x 6'-8" Metal Insulated Entry Doors - Black
 4'0" x 3'-0" Andersen 100 series windows - Black

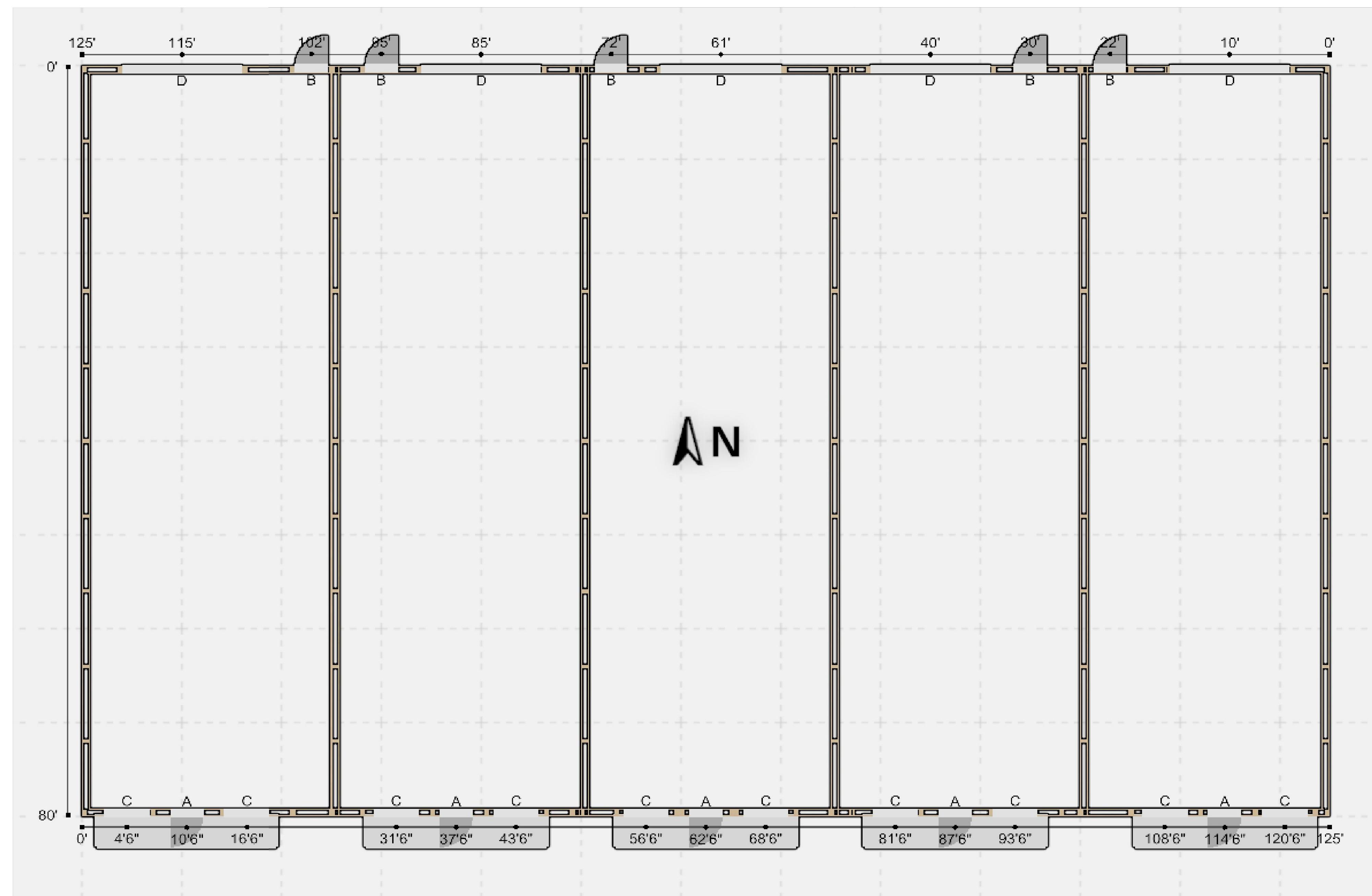


EPS
Buildings

Energy Panel Structures, Inc.
Clyde, NY
Pre-Engineered Solid Core Building
"Structural Insulated Panel" Building System



80' x 16' x 125' with a 3/12 Pitch Roof



FLOOR PLAN
NOT TO SCALE