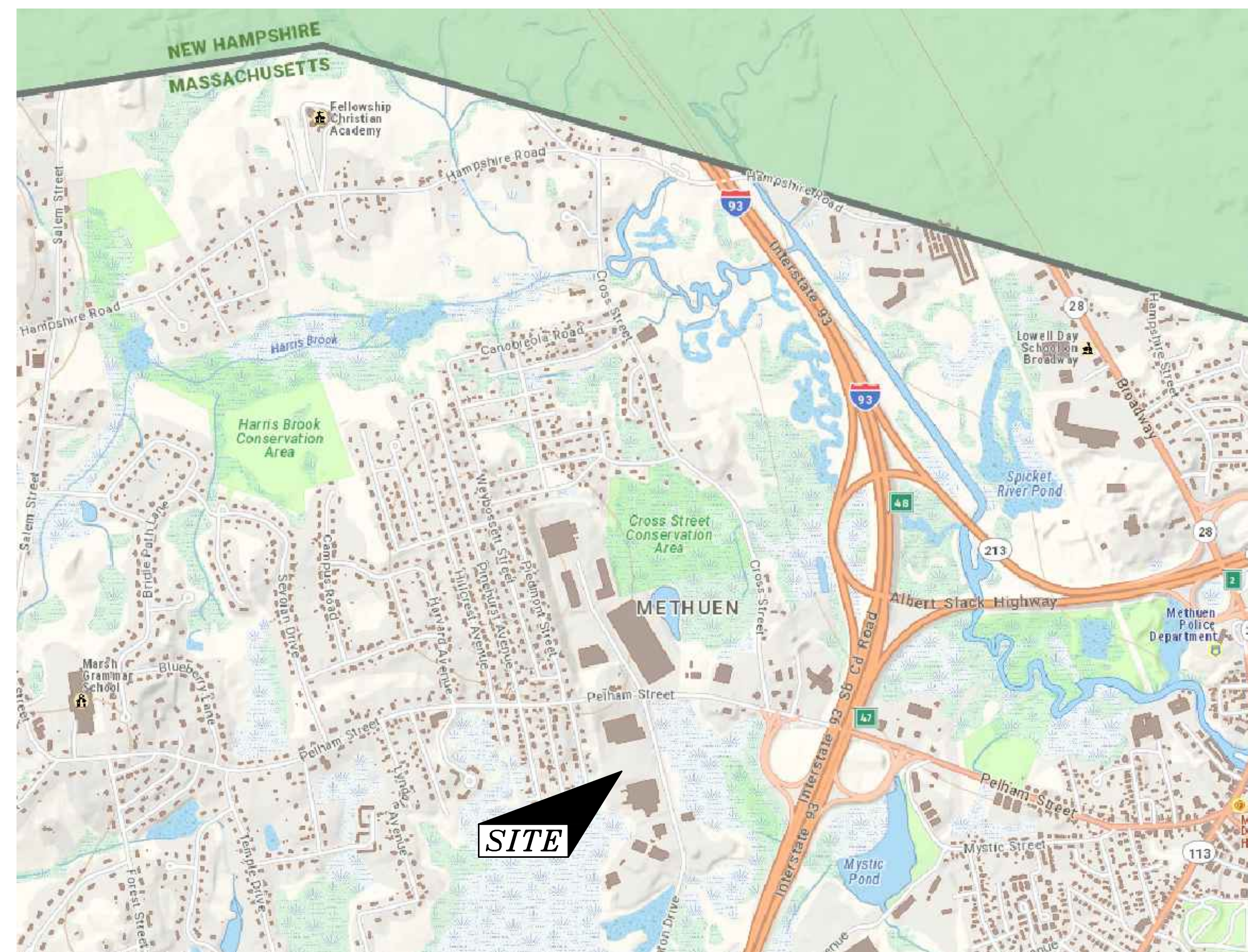


PREPARED FOR:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
G001	TITLE SHEET
V101	EXISTING CONDITIONS PLAN
C101	SITE PLAN
C102	GRADING PLAN
C103	UTILITY PLAN
C104	EROSION & SEDIMENT CONTROL PLAN
C501 - C503	CIVIL DETAILS
E-1	PHOTOMETRIC PLAN
A2.1	ELEVATIONS



**LOCUS PLAN**  
SCALE: 1"=1,000'±

ZONING TABLE		
ZONE	IL (LIMITED INDUSTRIAL)	
PROPOSED USE	WAREHOUSING AND STORAGE	
DIMENSIONAL CONTROLS	REQUIRED	PROPOSED
MIN. AREA (SF)	40,000	135,678±
MAX. DENSITY (DU/AC)	N/A	N/A
MIN. FRONTAGE (FT)	100	241.56
MIN. WIDTH (FT)	100	237.1
FRONT YARD SETBACK (FT)	60	60
SIDE YARD SETBACK (FT)	30	10*
REAR YARD SETBACK (FT)	30(3)	60
MAX. STORIES	4	1
MAX. HEIGHT	45	54*
MAX. LOT COVERAGE (%)	35	43*
OPEN SPACE	N/A	13% (17,638 SF)
PARKING	1 PER 1,200 SF = 49	53
ACCESSIBLE PARKING	51-75 SPACES REQUIRES 3 ACCESSIBLE SPACES	3

FOOTNOTES:

3. WHERE ABUTTING A RESIDENTIAL OR MULTI-FAMILY DISTRICT, SEE SECTION VI-B(12) FOR ADDITIONAL REQUIREMENTS.

\*VARIANCE GRANTED BY THE ZONING BOARD OF APPEALS ON JULY 28, 2021.

LOCUS TITLE INFORMATION

33 DANTON DRIVE

OWNER: 33 DANTON DRIVE, LLC  
DEED REFERENCE: BK. 16259 PG. 270  
PLAN REFERENCE: 17872 (2018)  
ASSESSORS: PARCEL ID 412-131-6AA



**DEVELOPER:**  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

[illegible]

1.	PEER/ENG. REVIEW	7/30/21
REV	DESCRIPTION	DATE

STAMP:

# TITLE SHEET

SHEET NAME:

G001

SHT NO:

DR BY: MH

CHK BY: SS

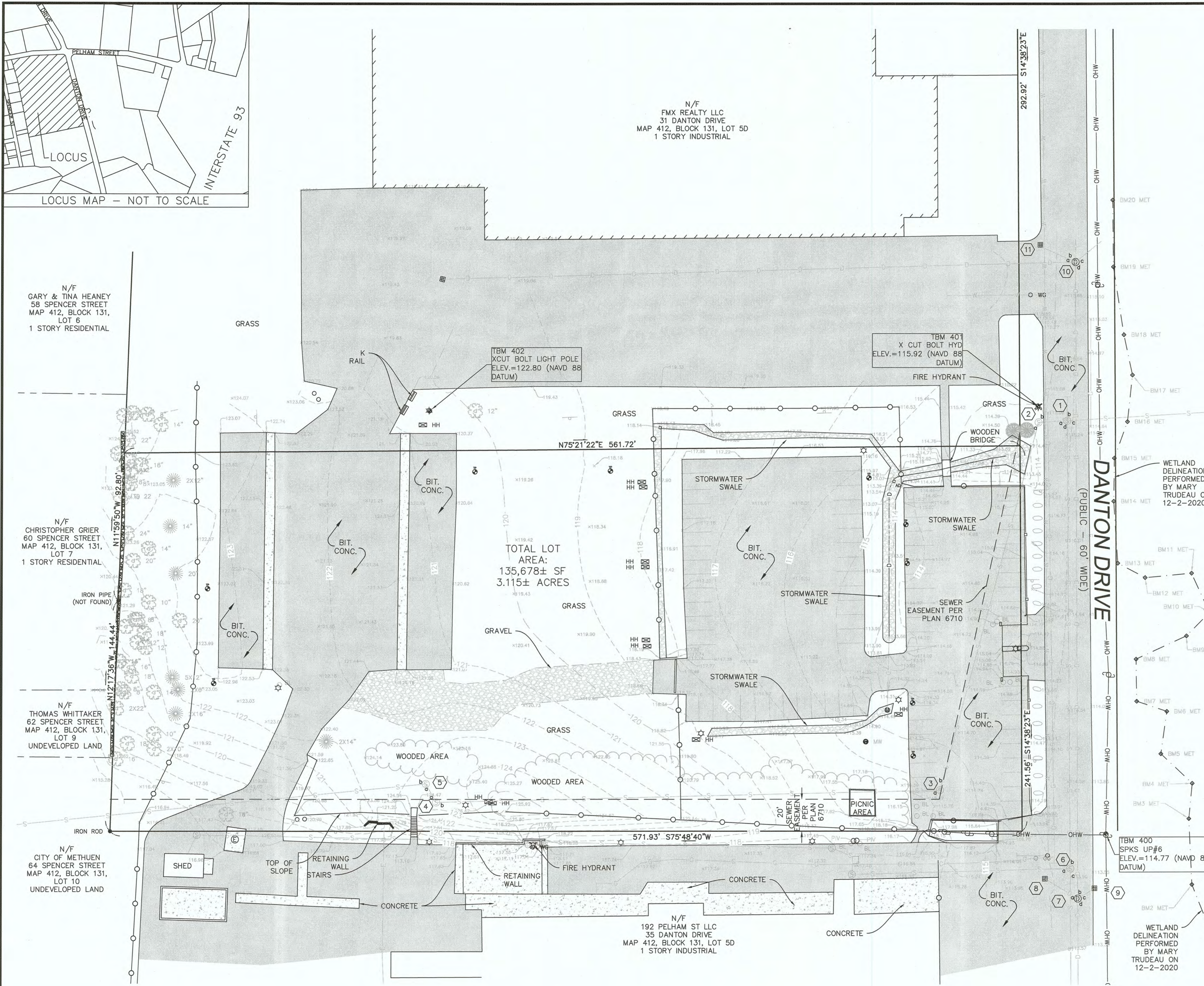
PROJ NO: 2020-041
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DATE: 6/02/2021

SCALE: NTS

METHUEN COMMUNITY DEVELOPMENT  
BOARD

DATE \_\_\_\_\_



UTILITY TABLE			
NO.	TYPE	RIM	INVERTS
1	SANITARY SEWER MANHOLE	115.20	a)101.65 24" b)101.50 12" c)100.50 24" d)104.45 12"
2	SANITARY SEWER MANHOLE	114.88	a&b)101.58 24"
3	SANITARY SEWER MANHOLE	114.88	a&b)102.21 24"
4	SANITARY SEWER MANHOLE	124.98	a&b)103.05 24"(calculated)
5	SANITARY SEWER MANHOLE	124.43	a&b)103.08 24"(calculated)
6	SANITARY SEWER MANHOLE	113.80	a)103.30 8" b&c)102.50 12"
7	STORM DRAINAGE MANHOLE	113.67	a)109.59 12" b)109.37 18" c)109.62 12" d)109.42 18"
8	CATCH BASIN	113.21	a)109.61 12"
9	CATCH BASIN	113.31	a)109.62 12"
10	STORM DRAINAGE MANHOLE	113.80	a)111.75 12" b)111.50 12" c)111.45 12" d)111.35 18"
11	CATCH BASIN	##	a)111.70 12"

- LEGEND**
- CS COMBINED SEWER & DRAIN
  - S SANITARY SEWER
  - D DRAIN LINE
  - W WATER LINE
  - E ELECTRIC LINE
  - G GAS LINE
  - T TELEPHONE LINE
  - ST STEAM LINE
  - SM SANITARY MANHOLE
  - DM DRAIN MANHOLE
  - UM UNKNOWN MANHOLE
  - EM ELECTRIC MANHOLE
  - TM TELEPHONE MANHOLE
  - CB CATCH BASIN
  - DT DECIDUOUS TREE
  - CT CONIFEROUS TREE
  - PL PLANTER
  - FH FIRE HYDRANT
  - WG WATER GATE
  - GG GAS GATE
  - WB WASTE BASKET
  - PM PARKING METER
  - MB MAIL BOX
  - TS TRAFFIC SIGNAL
  - LP LIGHT POLE
  - HH HANDHOLE
  - XX SPOT GRADE

**WE HEREBY CERTIFY:**  
THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST, 2020 AND OCTOBER, 2020, BY DESIGN CONSULTANTS, INC. (DCI).

BOUNDARY LINES AND EASEMENTS FOR THE SUBJECT PROPERTY ARE PER DEED AND PLAN RESEARCH BY DESIGN CONSULTANTS, INC. THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION, UNRECORDED EASEMENTS AND/OR ADVERSE CLAIMS BY OTHERS ARE NOT SHOWN.

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAMMETRY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY, ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

**PROFESSIONAL LAND SURVEYOR FOR DESIGN CONSULTANTS, INC.**  
DATE: 12/7/2020

**PLAN REFERENCES:**  
PLAN NO. 711 (1968)  
PLAN NO. 8810 (1982)  
PLAN NO. 17581 (2017)  
PLAN NO. 17610 (2017)  
PLAN NO. 17678 (2017)  
PLAN NO. 17704 (2017)  
PLAN NO. 17872 (2018)  
PLAN NO. 17887 (2019)

**LOCUS TITLE INFORMATION**  
33 DANTON DRIVE  
OWNER: JBX REALTY, LLC  
DEED REFERENCE: BK. 15735 PG. 995  
PLAN REFERENCE: 17872 (2018)  
ASSESSORS: PARCEL ID 412-131-6AA

0 30 60 100  
SCALE: 1" = 30'

Copyright 2020 Design Consultants, Inc.

P:\2020 Projects\2020-041 33 Danton Dr Methuen\Dwg\\_SURVEYING\20-041ec.dwg

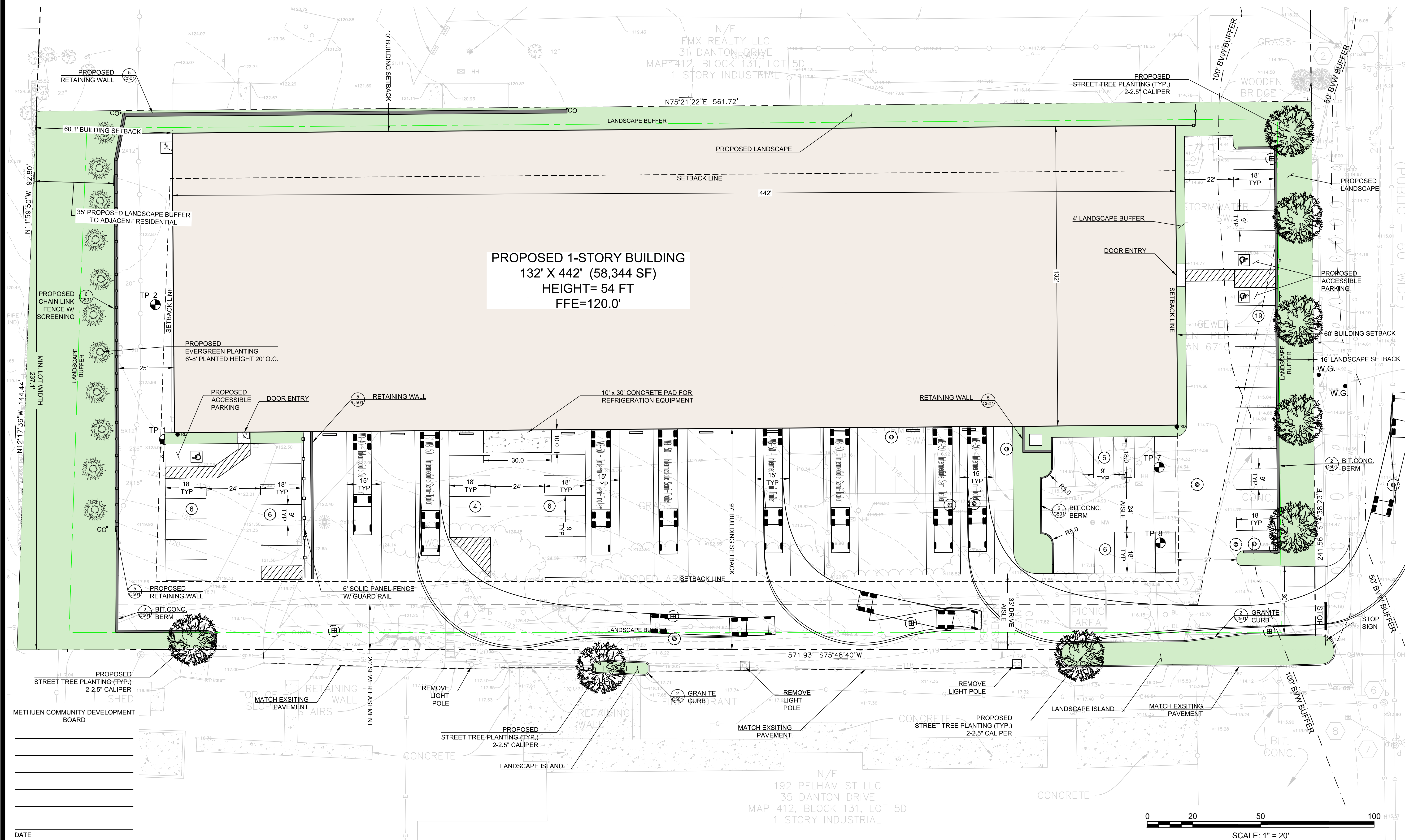
<b>Design Consultants, Inc.</b> CIVIL ENGINEERS and LAND SURVEYORS 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350	SCALE: HORIZ: 1" = 30' VERT: _____	NO. DATE BY REVISIONS	FIELD: LG CALCS: RTC CHECKED: KJK APPROVED: KJK	EXISTING CONDITIONS PLAN 33 DANTON DRIVE	LAND LOCATED IN METHUEN, MASSACHUSETTS SURVEYED FOR NABIL BOGHOS	PROJECT NO. 2020-041 DATE: DEC 7, 2020 SHEET NO. 1 OF 1
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ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF METHUEN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

ALL RADII SHALL BE 3' UNLESS OTHERWISE SHOWN



NORTH



**DEVELOPER:**  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

[illegible]

STAMP:

## SITE PLAN

SHEET NAME:

# C101

SHT NO

DR BY: JEH

CHK BY: SS

PROJ NO: 2020-041

DATE: 06/02/2021



## LEGEND

## EXISTING:

CS COMBINED SEWER & DRAIN  
S SANITARY SEWER  
D DRAIN LINE  
W WATER LINE  
OHW ELECTRIC LINE  
G GAS LINE  
T TELEPHONE LINE  
ST STEAM LINE  
S SANITARY MANHOLE  
D DRAIN MANHOLE  
U UNKNOWN MANHOLE  
E ELECTRIC MANHOLE  
T TELEPHONE MANHOLE

CATCH BASIN  
DECIDUOUS TREE  
CONIFEROUS TREE  
PLANTER  
FIRE HYDRANT  
WATER GATE  
GAS GATE  
WASTE BASKET  
PARKING METER  
MAIL BOX  
TRAFFIC SIGNAL  
UTILITY POLE  
SPOT GRADE

## PROPOSED:

WV WATER GATE  
TP TEST PIT  
S STOCKADE  
S SEWER LINE  
G GAS LINE  
DOM DOMESTIC WATER LINE  
F FIRE SUPPRESSION LINE  
D DRAIN LINE  
+ 16.38 SPOT GRADE  
32 CONTOUR  
TC,BC TOP OF CURB, BOTTOM OF CURB  
TW,BW TOP OF WALL, BOTTOM OF WALL  
INSP INSPECTION PORT  
CO CLEAN OUT

## UTILITY &amp; DRAINAGE NOTES

- THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ADJUTING LOTS.
- CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF METHUEN MUNICIPAL STANDARDS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.

- NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.
- NO DRY UTILITY DESIGN IS SHOWN. CONTRACTOR RESPONSIBLE FOR COORDINATING WITH RESPECTIVE UTILITY COMPANY'S, ELECTRICAL AND PLUMBING ENGINEERS AS NECESSARY TO PROVIDE BUILDING SERVICES

## PIPE MATERIALS:

SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.

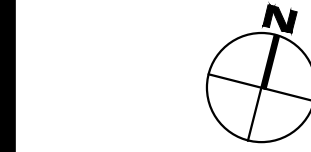
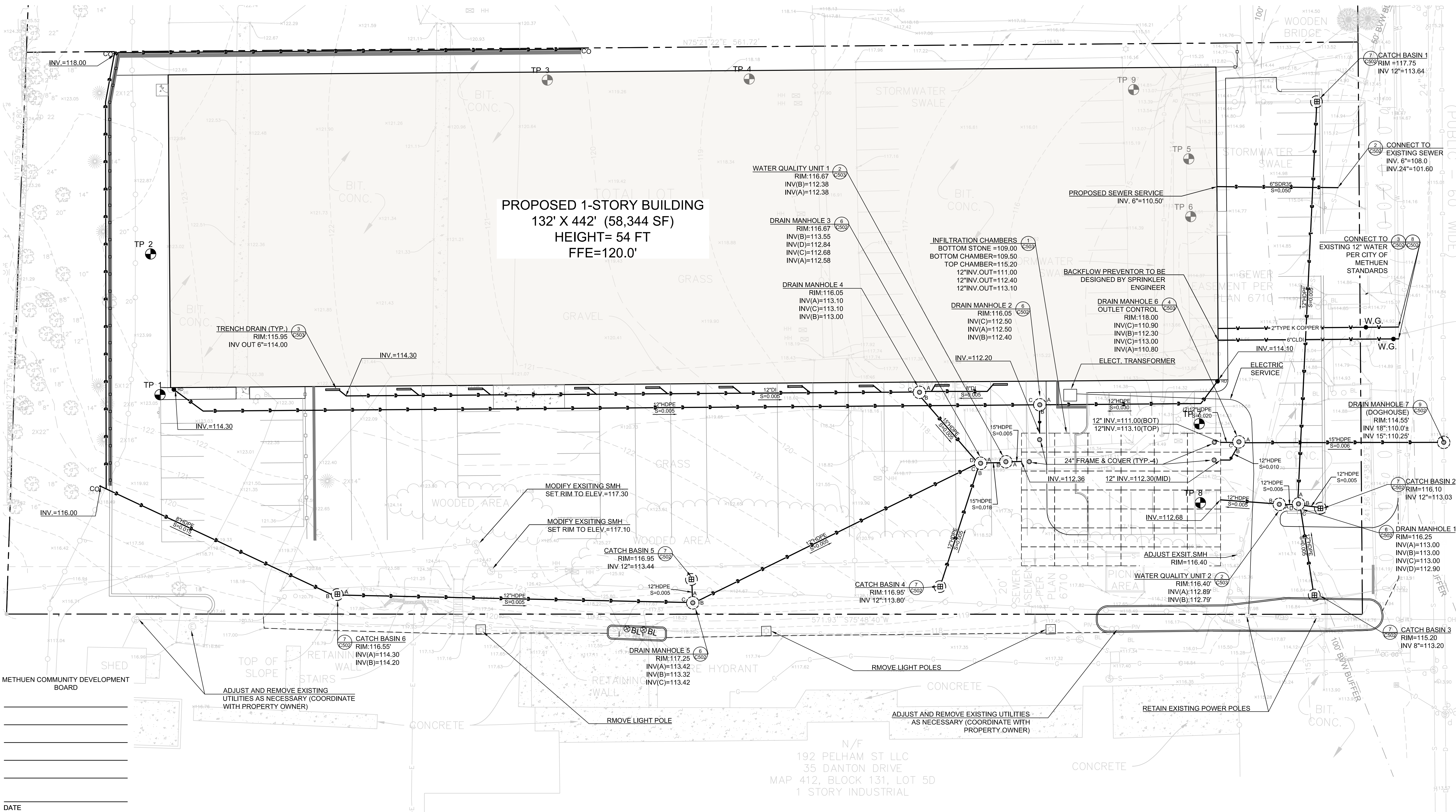
WATER: DOMESTIC: 2" COPPER TYPE K TUBING

FIRE: 6" DUCTILE IRON PIPE (CLASS 52)

ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.

SITE DRAINAGE: HDPE PIPE, SIZE AS NOTED.

ALL PIPING WITHIN 10 FEET OF THE OUTSIDE FACE OF FOUNDATION ARE SUBJECT TO PLUMBING CODE.



NORTH



DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

1.	PEER/ENG. REVIEW	7/30/21
REV	DESCRIPTION	DATE

## STAMP:

UTILITY  
PLAN

## SHEET NAME:

# C103

## SHT NO:

DR BY: JEH

CHK BY: SS

PROJ NO: 2020-041

DATE: 6/2/2021

SCALE: 1"=20'

DATE

1. ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF METHUEN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
2. CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
3. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL INSTALL SILT SACKS IN ALL CATCH BASINS DOWNGRADE OF SITE PRIOR TO COMMENCEMENT OF WORK
5. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
6. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
7. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
8. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
9. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
10. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
11. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
12. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES ¼ TO ½ THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN ¼ TO ½ THE HEIGHT.
13. SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
14. BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
15. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
16. FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
17. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
18. ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDROSEEDING OR JUTE MATTING.
19. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
20. ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
21. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
23. PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
24. DUST SHALL BE CONTROLLED AT THE SITE.
25. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
26. IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.
27. NO STOCKPILING SHALL TAKE PLACE NEAR DANTON DRIVE OR THE 100' WETLAND BUFFER.

THE NRCS WEB SOIL SURVEY IDENTIFY THE EXISTING SITE SOILS AS BEING 'HINCKLEY LOAMY SAND.' SITE SPECIFIC SOIL TEST PITS CONFIRM THE SOILS TO BE LOAMY SAND.

2. INSTALL INLET SEDIMENT BARRIERS
3. REMOVE EXISTING PAVEMENT AND OTHER MISC STRUCTURES.
4. CONSTRUCT BUILDING AND UTILITIES.
5. CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
6. CONSTRUCT LANDSCAPING.
7. REMOVE EROSION CONTROLS.

- a. TEMPORARY STRIP.
- b. MULCHING.
- c. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

METHUEN COMMUNITY DEVELOPMENT  
BOARD

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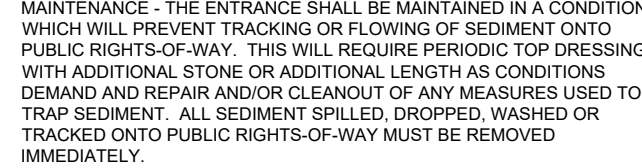
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DATE \_\_\_\_\_

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

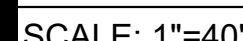
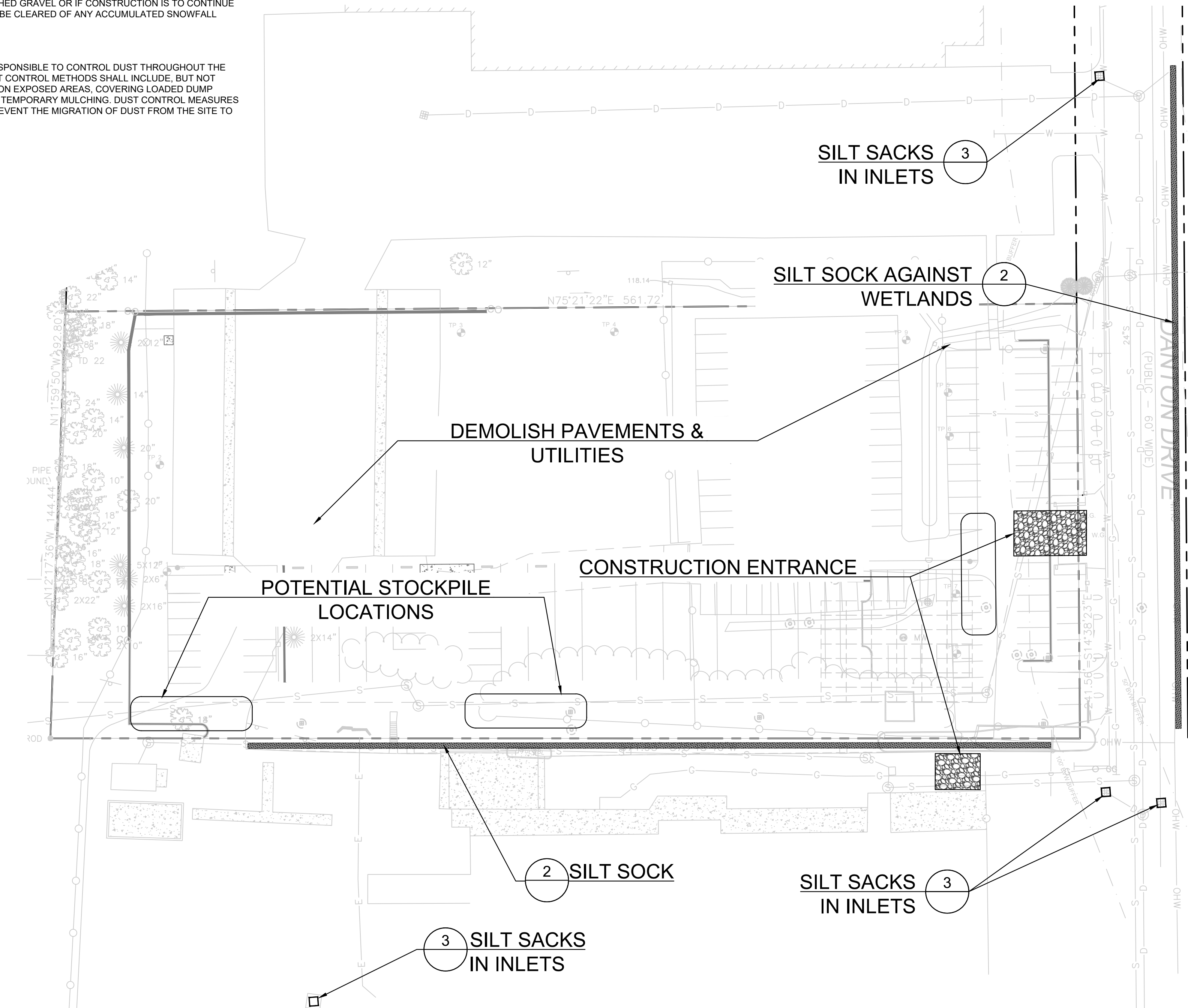
A. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

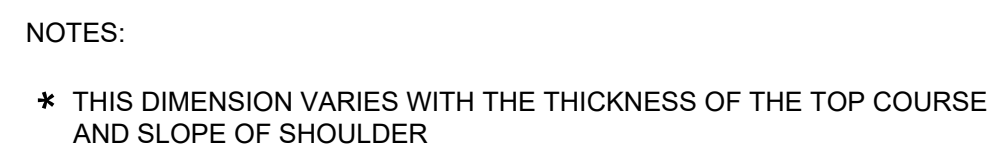
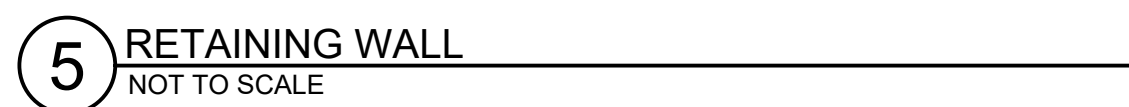
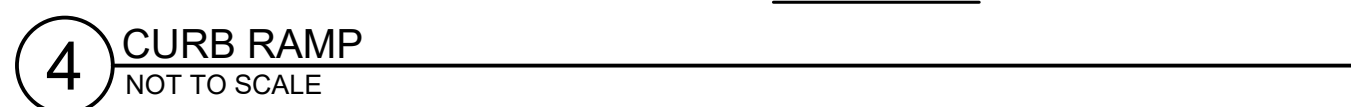
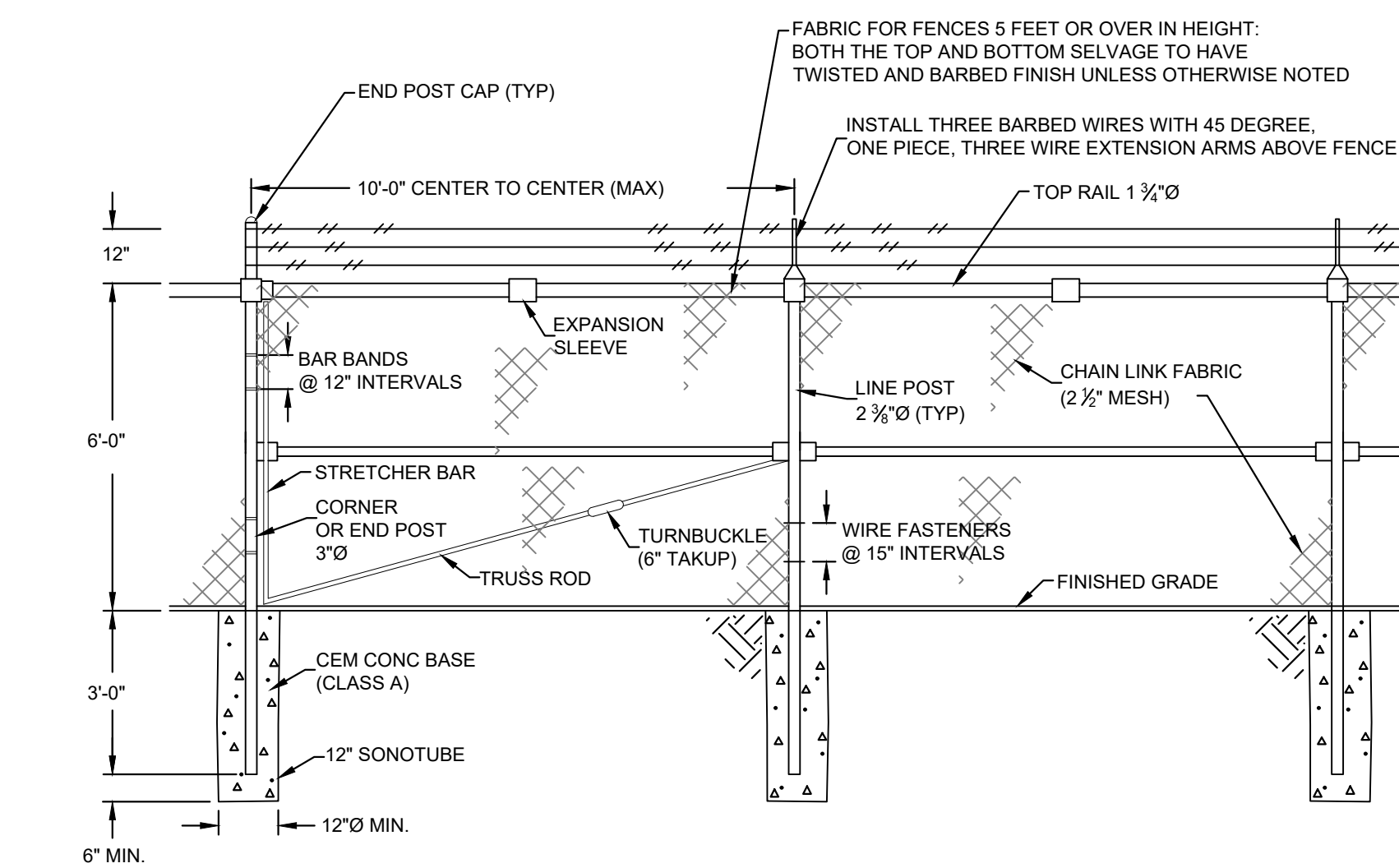
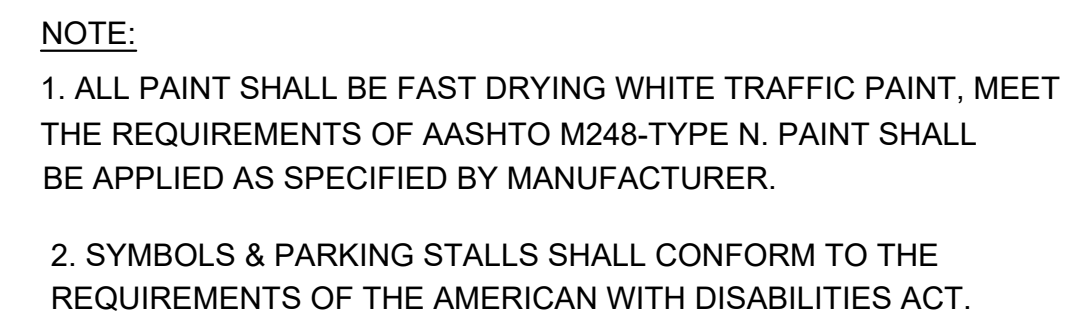


Notes:

1. All material to meet Filtrexx® specifications
2. SiltSoxx™ compost/soil/rock/seed fill to meet application requirements
3. Compost material to be dispersed on site, as determined by Engineer.

3 SILT SACK  
NOT TO SCALE





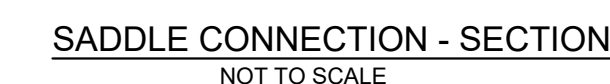
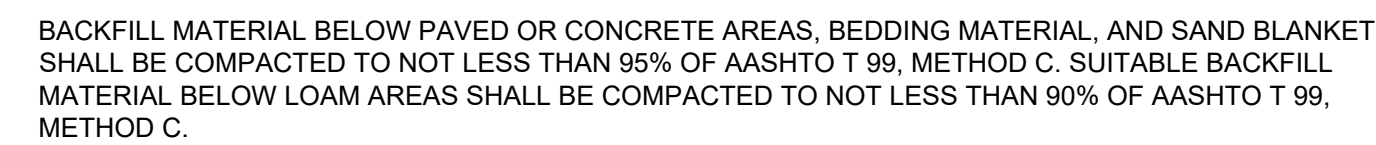


Diagram illustrating the detail for a water main tapping, showing the connection between the existing water main and the new tapping valve assembly.

Labels and Components:

- SIDEWALK
- FACE OF CURB
- FINISHED STREET GRADE MATCH EXIST SURFACE TREATMENT. MIN. 4"PAVT
- MUNICIPAL STANDARD VALVE BOX & COVER
- ACCESS TUBE
- 5'-0" MIN. COVER VALVE
- PLACE MASONRY RING UNDER VALVE BOX ON COMP. FILL. DO NOT REST ON VALVE.
- C.L.D.I. PIPE
- TO FOUNDATION
- BLOCKING
- LENGTH TO BE DETERMINED IN FIELD
- M.JxFL GATE VALVE TAPPING VALVE W/ RESILIENT WEDGE (MUELLER T-2360-16 OR MUNICIPAL STD)
- CONC. THRUST BLOCK
- WATER MAIN
- M.JxFL TAPPING SLEEVE (MUELLER H-615 OR MUNICIPAL STD)

NOTE:

- ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.
- DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

Technical drawing of a manhole assembly showing various components and dimensions:

- MUNICIPAL STANDARD CATCH BASIN FRAME AND GRATE
- BINDER GRADE WITH A CHAMFER CUT TO RECEIVE TOP COURSE
- FRAME ENCASED IN CEM. CONC.
- 18"-24" TAPERED SECTION
- ALL REINFORCEMENT AS PER LOCAL STDs.
- 1" CLEAR
- HEIGHT OF RISER SECTIONS VARY FROM 1'-4'
- 5" MIN.
- MORTAR ALL JOINTS
- 4'-0" DIA. OR 5'-0" DIA. WHERE DOUBLE GRATE
- PROVIDE "V" OPENINGS
- HOOD
- OUTSIDE OF PIPE +2" CLEARANCE
- 4'-6" SUMP
- 5" MIN.

TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS			
SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22.5° BEND
8" OR LESS	4	5	2
10"	6	8	3
12"	9	12	5
16"	12	16	7
20"	20	25	10

The diagram illustrates a standard curb stop installation. A horizontal line at the top represents the **SURFACE GRADE**. Below it, a vertical dimension line indicates a **5'-0" MIN COVER** from the surface grade to the top of the curb stop assembly. On the left, a circular **WATER MAIN** is shown. A **2" COPORATION W/SADDLE** connects the water main to a horizontal **2" DOMESTIC TYPE "K" COPPER SERVICE** line. This service line passes through a **CORPORATION STOP** and then through a **STANDARD VALVE BOX AND COVER** which is mounted on a **CURB STOP**. The line continues to the right, labeled **TO BUILDING SERVICE**.

EDGE OF ROADWAY

INCORPORATION STOP  
ALL MEET  
AWWA SPECS

4.5\"/>

6\"/>

GATE VALVES TO  
MEET TOWN SPECS

VALVE BOX SHALL BE CAST  
IRON WITH 2 1/2\"/>

3/4\"/>

1\"/>

LONGER (150 PSI HDPE)

CURB STOPS MUST MEET  
AWWA SPEC. 800-55

WATER  
MAIN

**NOTES:**

1. PIPING FROM WATER MAIN TO CURB STOP SHALL BE COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWF-799 TYPE K.
2. ALL MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO TOWN OF WILMINGTON WATER DEPARTMENT REGULATIONS.

OUTSIDE  
OF PIPE  
+2\"/>

18"-24" TAPERED SECTION

HEIGHT OF RISER SECTIONS VARY FROM 1'-4"

EXIST. PIPE

FRAME & COVER

DRAIN MANHOLE COVER TO READ DMH

SEWER MANHOLE COVER TO READ SMH

RIM TO BE FLUSH WITH PAVEMENT

2 COURSE MIN. BRICKS MAY BE USED FOR GRADE ADJUSTMENT

FRAME TO BE SET IN FULL BED OF MORTAR

MORTAR ALL JOINTS

MIN. 0.12 SQ. IN. STEEL PER VERTICAL FOOT, PLACED ACCORDING TO A.A.S.H.T.O. DESIGNATION M199

REMOVE TOP HALF OF EXIST. PIPE DIAMETER

BRICK CHIPS AND MORTAR OR CLASS "A" CEM. CON.

6" MIN. CONC. BASE POURED TO BOTTOM OF EXISTING PIPE

4'-0" DIA.

2'-0" DIA.

8" MAX.

1" CLEAR

5" MIN.

A

Technical drawing of a manhole structure showing various components and dimensions. The drawing includes a cross-section of the manhole structure, showing the frame, cover, and the interior of the manhole. Key components and dimensions are labeled:

- MUNICIPAL STANDARD FRAME & COVER**: The top of the manhole structure.
- RIM TO BE FLUSH WITH PAVEMENT**: The top edge of the frame.
- BRICKS MAY BE USED FOR GRADE ADJUSTMENTS FRAME TO BE SET IN FULL BED OF MORTAR**: A note indicating the use of bricks for grade adjustments.
- MORTAR ALL JOINTS**: A note indicating that all joints should be mortared.
- MIN. 0.12 SQ. IN. STEEL PER VERTICAL FOOT. PLACED ACCORDING TO A.A.S.H.T.O. DESIGNATION M199**: A note indicating the minimum steel reinforcement required.
- FLOOR OF STRUCTURE TO BE HEADERS LAID FLAT**: A note indicating that the floor of the structure should be laid flat.
- 1-#3 BAR AROUND OPENINGS FOR PIPES 18"±. 1" COVER**: A note indicating the reinforcement for pipe openings.
- BRICK CHIPS AND MORTAR OR CLASS "A" CEM. CONC.**: A note indicating the material for the floor of the structure.
- INVERTED ARCH WITH BRICKS LAID ON EDGE**: A note indicating the construction of the inverted arch.
- PROVIDE "V" OPENINGS**: A note indicating the provision of V-shaped openings.
- 4-0" DIA.**: The diameter of the manhole opening.
- 2-0" DIA.**: The diameter of the manhole opening.
- 8" MIN.**: The minimum thickness of the frame.
- 1" CLEAR**: The clearance around the manhole opening.
- 2" CLEAR.**: The clearance around the manhole opening.
- 5" MIN.**: The minimum thickness of the frame.
- 30" MAX. DIA. PIPE**: The maximum diameter of the pipe.
- 18"±. 1" COVER**: The cover for the manhole opening.
- 42" CLEAR**: The clearance around the manhole opening.
- HEIGHT OF RISER SECTION VARY FROM 1'-4"**: The height of the riser section.
- 18"±. 2" TAPERED SECTION**: The tapered section of the manhole structure.

NOTE: PROVIDE SUPPORT FOR EXISTING 15" PIPE SURFACE DRAIN WHEN POURING CONCRETE BASE

APPROX. LIMIT OF SEWER PIPE TO BE REMOVED

SHELF TO BE BRICK LAID FLAT AT A SLOPE OF 1" PER 1 FOOT

CONCRETE FILL

CONCRETE BASE

SECTION A-A

DATE \_\_\_\_\_

**DEVELOPER:**  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

[illegible]

1.	PEER/ENG. REVIEW	7/30/21
REV	DESCRIPTION	DATE

STAMP:

## UTILITY DETAILS

SHEET NAME:

# C502

SHT NO:

DR BY: JFH

CHK BY: SS

PROJ NO: 2020-041

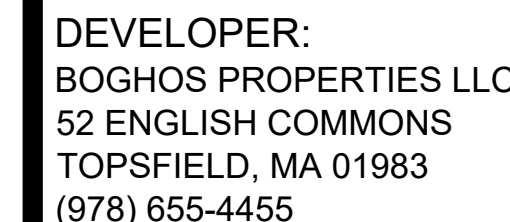
DATE: 06/02/2021

SCALE: NTS



DATE \_\_\_\_\_

SCALE: NTS



## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

[illegible]

STAMP:

# PHOTOMETRIC PLAN

SHEET NAME:

E-

SHT NO

DR BY: JFH

CHK BY: SS

PROJ NO: 2020-041

DATE: 6/2/2021



SCALE: 1"=30'



DATE \_\_\_\_\_

P:\2020 Projects\2020-041 33 Danton Dr Methuen\Draw\ENGINEERING\2020-041 UTILITY PLAN.dwg

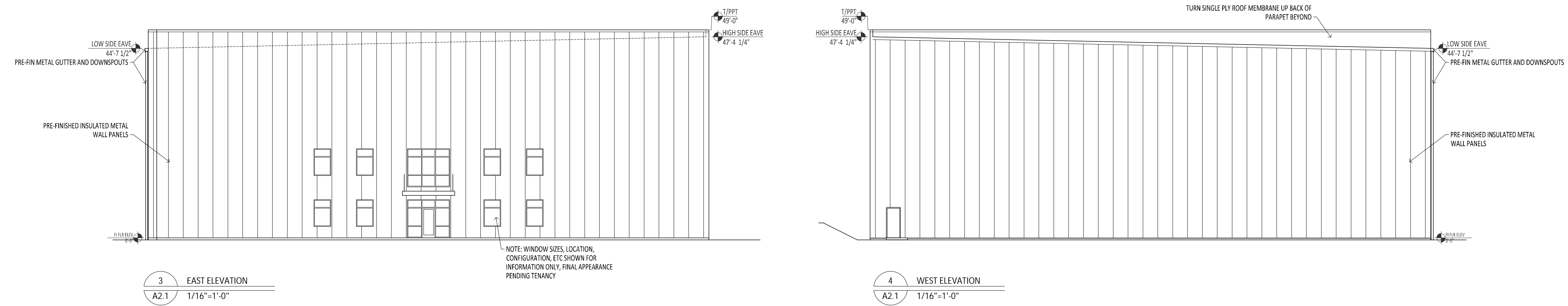
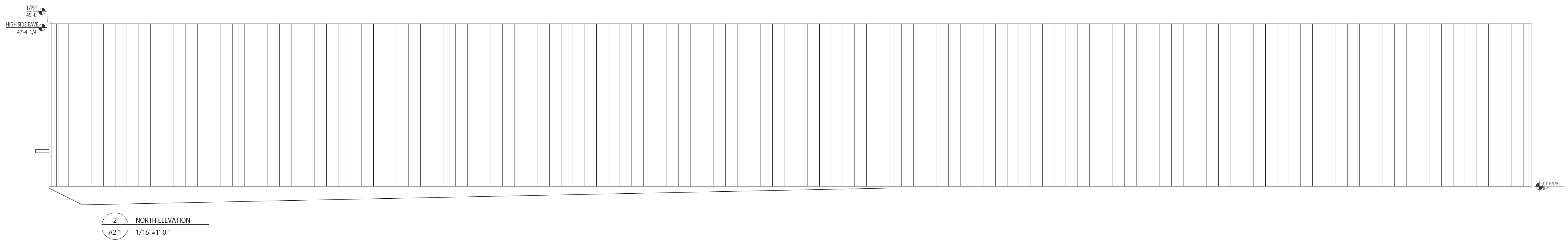
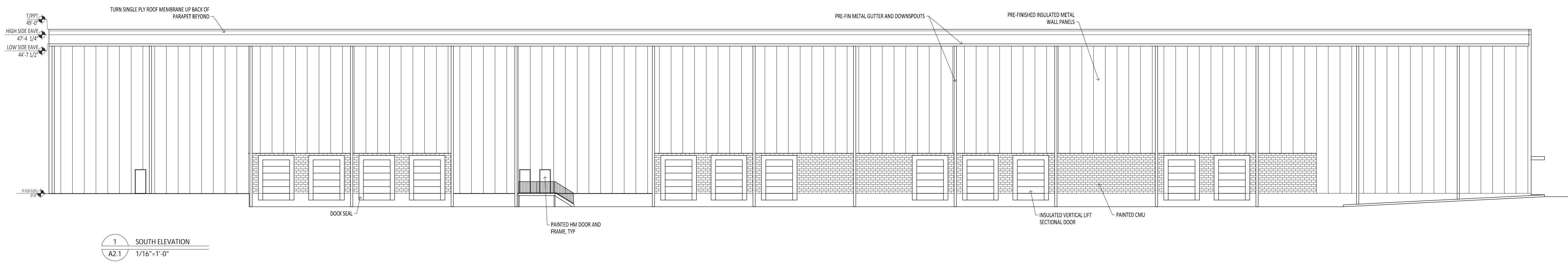
THIS PLAN IS FORMATTED TO PLOT AT SIZE ARCH D (24"X36")

Outdoor Luminaire Schedule								
Symbol	Qty	Label	Description	Arrangement	Arm	Lum. Lumens	LLF	Filename
	4	SQ44s	OSQ-A-xx-4ME-K-4SK-UL-BLSMF CONF	SINGLE	1.5	13022	0.900	OSQ-A-XX-4ME-K-4SK-ULXXXXX.W, OSQ-BLSMF_CONFIGURED.mxd
	1	SQ44s WM	OSQ-A-xx-4ME-K-4SK-UL-BLSMF CONF	SINGLE	1.5	13022	0.900	OSQ-A-XX-4ME-K-4SK-ULXXXXX.W, OSQ-BLSMF_CONFIGURED.mxd

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	SQWts	735953.875	3090220.62	22.5	194.625	0
2	SQWts	733131.375	3090250.87	22.5	283.109	0
3	SQWts	733620.625	3090211.12	22.5	194.954	0
4	SQWts WM	733206.25	3090163	22.5	196.236	0
5	SQWts	733201.625	3090051	22.5	105.492	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc-Peak 1	Abundance	Fc	0.38	4.0	0.0	N/A	N/A

<b>OMNI-LITE, INC.</b>	
263 WINTER STREET BURLINGTON, MA 01803	
PHONE 781-272-2200, FAX # 781-272-0159 <a href="http://www.omnilite.com">www.omnilite.com</a>	
PROJECT: <b>33Danton Drive, Methuen</b>	
CLIENT:	
<b>XXX</b>	
SCALE: <b>FEET</b>	FILE: <b>omni 33 danton dr 00.ash</b>
DATE: <b>11/03/2020</b>	SALES PERSON: <b>Sean Goulet</b>
THESE DRAWINGS ARE FOR CONCEPTUAL USE ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.	



Project Title:  
REFRIGERATED WAREHOUSE  
33 DANTON DRIVE  
METHUEN, MA

Drawing Title:  
ELEVATIONS

Seal:

Released for Construction Date: 27MAY21

Revisions	

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9195 Duran Circle  
Gainesville, Georgia 30506  
(770)655-8905

Project No.:  
**A2.1**  
Sheet of

**PHA**  
Patrick Higgins  
ARCHITECT