

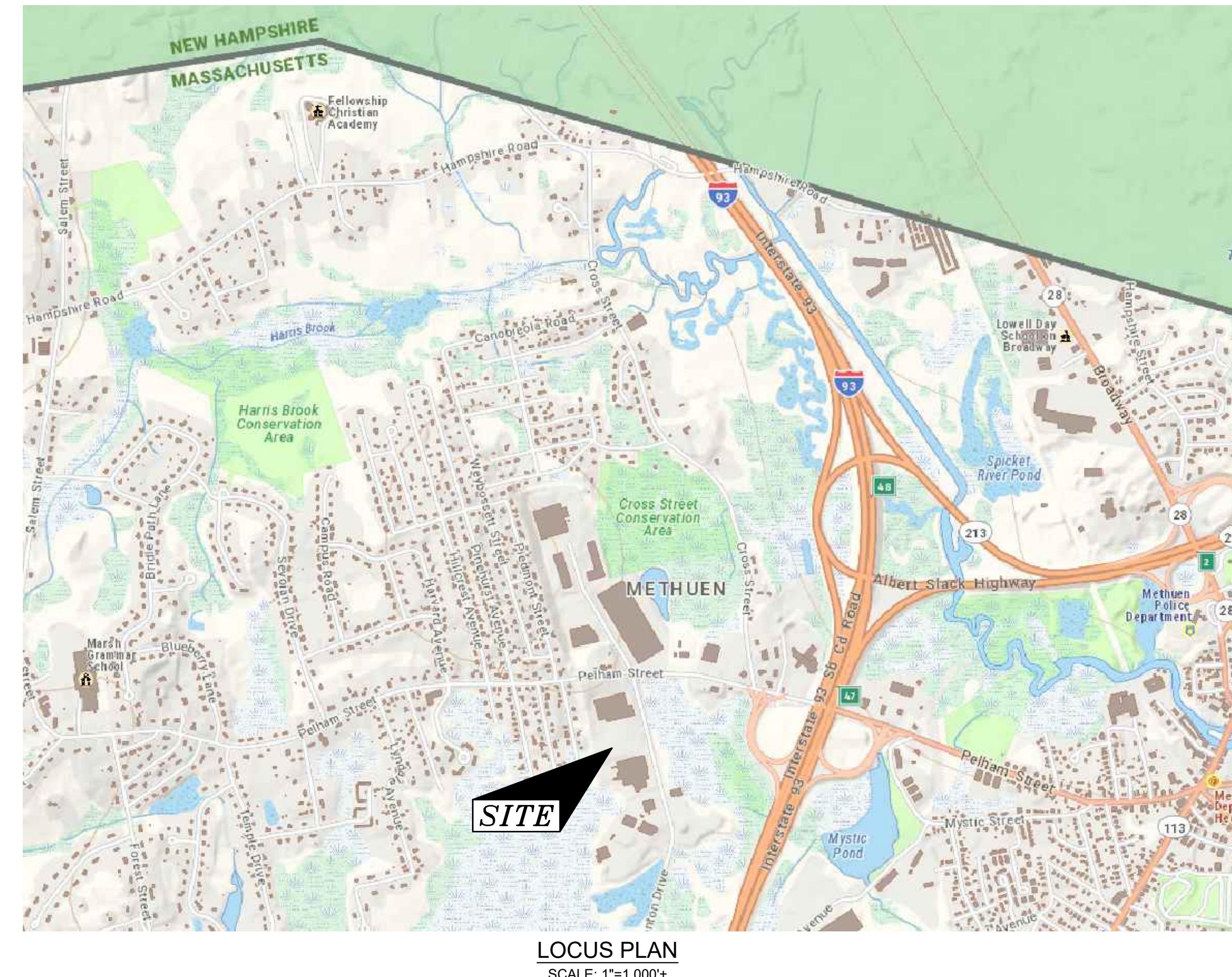
# MODIFICATION TO SITE PLAN APPROVAL 33 DANTON DRIVE

METHUEN, MASSACHUSETTS

PREPARED FOR:  
BOGHOS PROPERTIES LLC

52 ENGLISH COMMONS  
TOPSFIELD, MA 01983

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
G001	TITLE SHEET
V101	EXISTING CONDITIONS PLAN
C101	SITE PLAN
C102	GRADING PLAN
C103	UTILITY PLAN
C104	EROSION & SEDIMENT CONTROL PLAN
C501 - C503	CIVIL DETAILS
E-1	PHOTOMETRIC PLAN
A2.1	ELEVATIONS



DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE

STAMP:

**TITLE SHEET**

SHEET NAME:

**G001**

SHT NO:

DR BY: MH

CHK BY: SS

PROJ NO: 2020-041

DATE: 6/02/2021

SCALE: NTS

ZONING TABLE		
ZONE	IL (LIMITED INDUSTRIAL)	
PROPOSED USE	WAREHOUSING AND STORAGE	
DIMENSIONAL CONTROLS	REQUIRED	PROPOSED
MIN. AREA (SF)	40,000	135,678±
MAX. DENSITY (DU/AC)	N/A	N/A
MIN. FRONTAGE (FT)	100	241.56
MIN. WIDTH (FT)	100	237.1
FRONT YARD SETBACK (FT)	60	60
SIDE YARD SETBACK (FT)	30	10*
REAR YARD SETBACK (FT)	30(3)	60
MAX. STORIES	4	1
MAX. HEIGHT	45	54*
MAX. LOT COVERAGE (%)	35	43*
OPEN SPACE	N/A	13% (17,638 SF)
PARKING	1 PER 1,200 SF = 49	53
ACCESSIBLE PARKING	51-75 SPACES REQUIRES 3 ACCESSIBLE SPACES	3

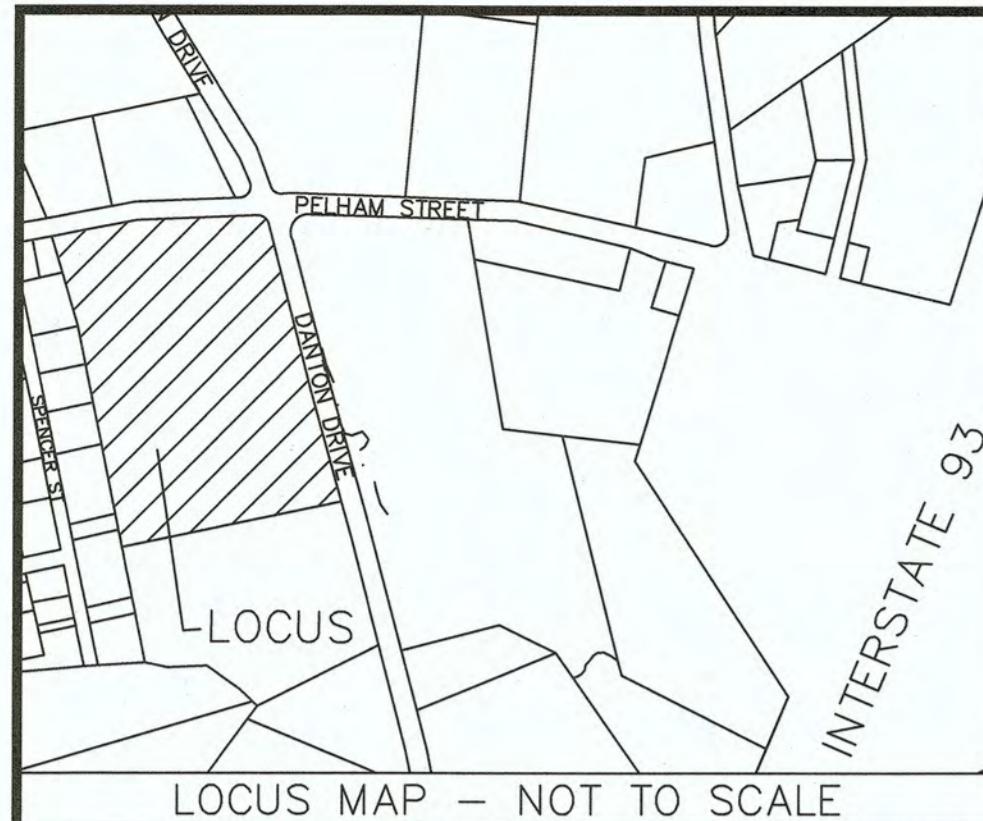
FOOTNOTES:

3. WHERE ABUTTING A RESIDENTIAL OR MULTI-FAMILY DISTRICT, SEE SECTION VI-B(12) FOR ADDITIONAL REQUIREMENTS.

\*VARIANCE GRANTED BY THE ZONING BOARD OF APPEALS ON JULY 28, 2021.

#### LOCUS TITLE INFORMATION

33 DANTON DRIVE  
OWNER: 33 DANTON DRIVE, LLC  
DEED REFERENCE: BK. 16259 PG. 270  
PLAN REFERENCE: 17872 (2018)  
ASSESSORS: PARCEL ID 412-131-6AA



N/F  
FMX REALTY LLC  
31 DANTON DRIVE  
MAP 412, BLOCK 131, LOT 5D  
1 STORY INDUSTRIAL

N/F  
GARY & TINA HEANEY  
58 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 6  
1 STORY RESIDENTIAL

N/F  
CHRISTOPHER GRIER  
60 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 7  
1 STORY RESIDENTIAL

N/F  
THOMAS WHITTAKER  
62 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 9  
UNDEVELOPED LAND

N/F  
CITY OF METHUEN  
64 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 10  
UNDEVELOPED LAND

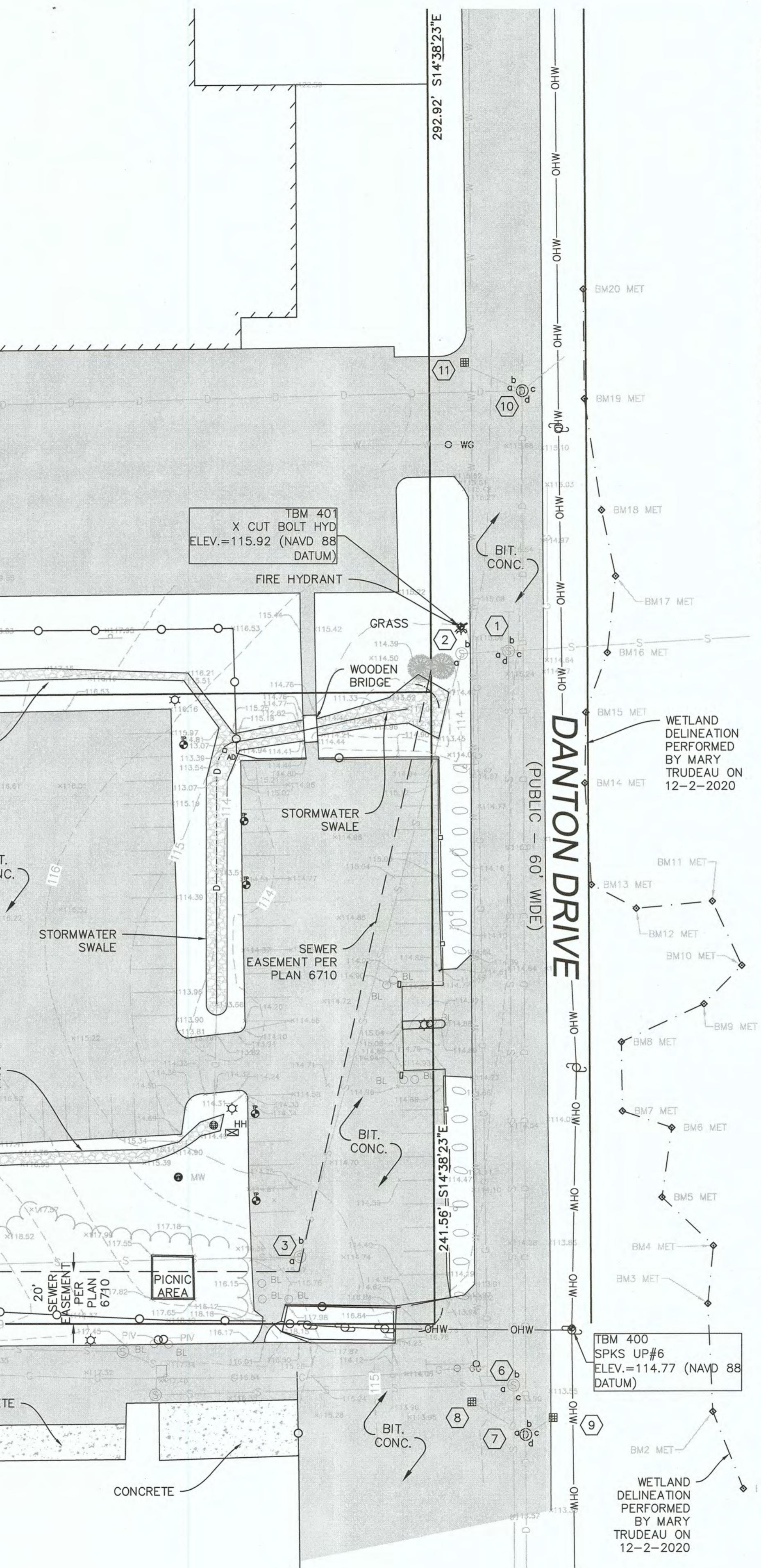
GRASS

TBM 402  
X CUT BOLT LIGHT POLE  
ELEV.=115.92 (NAVD 88  
DATUM)

TOTAL LOT  
AREA:  
135,678± SF  
3.115± ACRES

N/F  
192 PELHAM ST LLC  
35 DANTON DRIVE  
MAP 412, BLOCK 131, LOT 5D  
1 STORY INDUSTRIAL

REVISIONS



UTILITY TABLE			
NO.	TYPE	RIM	INVERTS
①	SANITARY SEWER MANHOLE	115.20	a)101.65 24" b)101.50 12" c)100.50 24" d)104.45 12"
②	SANITARY SEWER MANHOLE	114.88	a&b)101.58 24"
③	SANITARY SEWER MANHOLE	114.88	a&b)102.21 24"
④	SANITARY SEWER MANHOLE	124.98	a&b)103.05 24"(calculated)
⑤	SANITARY SEWER MANHOLE	124.43	a&b)103.08 24"(calculated)
⑥	SANITARY SEWER MANHOLE	113.80	a)103.30 8" b&c)102.50 12"
⑦	STORM DRAINAGE MANHOLE	113.67	a)109.59 12" b)109.37 18" c)109.62 12" d)109.42 18"
⑧	CATCH BASIN	113.21	a)109.61 12"
⑨	CATCH BASIN	113.31	a)109.62 12"
⑩	STORM DRAINAGE MANHOLE	113.80	a)111.75 12" b)111.50 12" c)111.45 12" d)111.35 18"
⑪	CATCH BASIN	##	a)111.70 12"

LEGEND	
—CS	COMBINED SEWER & DRAIN
—S	SANITARY SEWER
—D	DRAIN LINE
—W	WATER LINE
—E	ELECTRIC LINE
—G	GAS LINE
—T	TELEPHONE LINE
—ST	STEAM LINE
◎	SANITARY MANHOLE
◎	DRAIN MANHOLE
◎	UNKNOWN MANHOLE
◎	ELECTRIC MANHOLE
◎	TELEPHONE MANHOLE
■	CATCH BASIN
PL	DECIDUOUS TREE
PL	CONIFEROUS TREE
PL	PLANTER
WG	FIRE HYDRANT
WG	WATER GATE
GG	GAS GATE
OPM	WASTE BASKET
MB	PARKING METER
TS	MAIL BOX
TS	TRAFFIC SIGNAL
HH	LIGHT POLE
HH	HANDHOLE
xxx	SPOT GRADE

MERIDIAN OF THE MASSACHUSETTS GRID COORDINATE SYSTEM (NAD 83)

WE HEREBY CERTIFY:

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST, 2020 AND OCTOBER, 2020, BY DESIGN CONSULTANTS, INC. (DCI).

BOUNDARY LINES AND EASEMENTS FOR THE SUBJECT PROPERTY ARE PER DEED AND PLAN RESEARCH BY DESIGN CONSULTANTS, INC. THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION, UNRECORDED EASEMENTS AND/OR ADVERSE CLAIMS BY OTHERS ARE NOT SHOWN.

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAPHY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY. ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

KEVIN J. KIERMAN  
12/7/2020

PROFESSIONAL LAND SURVEYOR FOR DESIGN CONSULTANTS, INC.

12/7/2020

DATE:

PLAN REFERENCES:

PLAN NO. 711 (1968)  
PLAN NO. 8810 (1982)  
PLAN NO. 17581 (2017)  
PLAN NO. 17610 (2017)  
PLAN NO. 17678 (2017)  
PLAN NO. 17704 (2017)  
PLAN NO. 17872 (2018)  
PLAN NO. 17887 (2019)

LOCUS TITLE INFORMATION

33 DANTON DRIVE  
OWNER: JBX REALTY, LLC  
DEED REFERENCE: BK. 15735 PG. 995  
PLAN REFERENCE: 17872 (2018)  
ASSESSORS: PARCEL ID 412-131-6AA

0 30 60 100  
SCALE: 1" = 30'

## GENERAL NOTES

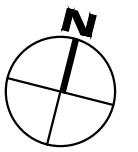
ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF METHUEN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

## SHEET NOTE

ALL RADII SHALL BE 3' UNLESS OTHERWISE SHO



NORTH



DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
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PROJECT TE

**33 DANTON DRIVE**  
**METHUEN, MA**

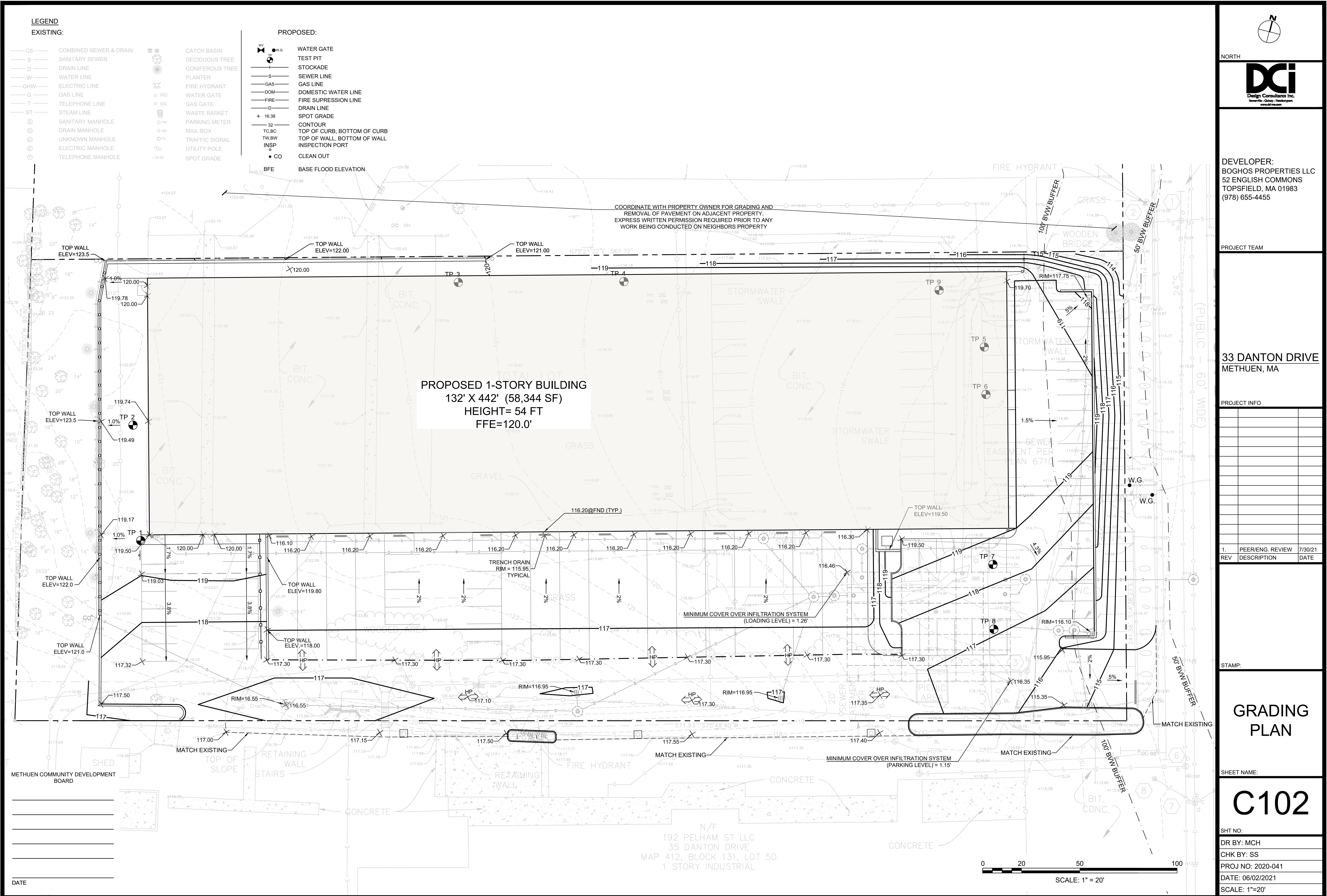
## PROJECT INF

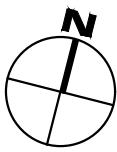
1.	PEER/ENG. REVIEW	7/30/2
REV	DESCRIPTION	DATE

STAMP:

SHEET NAME

SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 06/02/2021  
SCALE: 1"=20'





NORTI



## LEGEND

## EXISTING:

—CS—	COMBINED SEWER & DRAIN	⊕ ⊖	CATCH BASIN	WV	● W.G.	WATER GATE
—S—	SANITARY SEWER	●	DECIDUOUS TREE	TP	●	TEST PIT
—D—	DRAIN LINE	●	CONIFEROUS TREE	—□—	—	STOCKADE
—W—	WATER LINE	●	PLANTER	—S—	—	SEWER LINE
—OHW—	ELECTRIC LINE	●	FIRE HYDRANT	—GAS—	—	GAS LINE
—G—	GAS LINE	○ WG	WATER GATE	—DOM—	—	DOMESTIC WATER LINE
—T—	TELEPHONE LINE	○ GG	GAS GATE	—FIRE—	—	FIRE SUPPRESSION LINE
—ST—	STEAM LINE	⊕ WB	WASTE BASKET	—D—	—	DRAIN LINE
⑤	SANITARY MANHOLE	○ PM	PARKING METER	+	16.38	SPOT GRADE
⑥	DRAIN MANHOLE	□ MB	MAIL BOX	—32—	—	CONTOUR
⑦	UNKNOWN MANHOLE	○ TS	TRAFFIC SIGNAL	TC,BC	—	TOP OF CURB, BOTTOM OF CURB
⑧	ELECTRIC MANHOLE	○	UTILITY POLE	TW,BW	—	TOP OF WALL, BOTTOM OF WALL
⑨	TELEPHONE MANHOLE	— 20.85 —	SPOT GRADE	INSP	○	INSPECTION PORT
				● CO	●	CLEAN OUT

## UTILITY & DRAINAGE NOTES

1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
  2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
  3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
  4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  5. FINAL DEMARCACTION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
  6. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
  8. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
  9. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
  10. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
  11. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF METHUEN MUNICIPAL STANDARDS.
  12. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
  14. NO DRY UTILITY DESIGN IS SHOWN. CONTRACTOR RESPONSIBLE FOR COORDINATING WITH RESPECTIVE UTILITY COMPANY'S, ELECTRICAL AND PLUMBING ENGINEERS AS NECESSARY TO PROVIDE BUILDING SERVICES

**PIPE MATERIALS:**

SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.

WATER: DOMESTIC: 2" COPPER TYPE K TUBING  
FIRE: 6" DUCTILE IRON PIPE (CLASS 52)

ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.

SITE DRAINAGE: HDPE PIPE, SIZE AS NOTED.

ALL PIPING WITHIN 10 FEET OF THE OUTSIDE FACE OF FOUNDATION ARE SUBJECT TO PLUMBING CODE.

SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

## PIPE MATERIALS

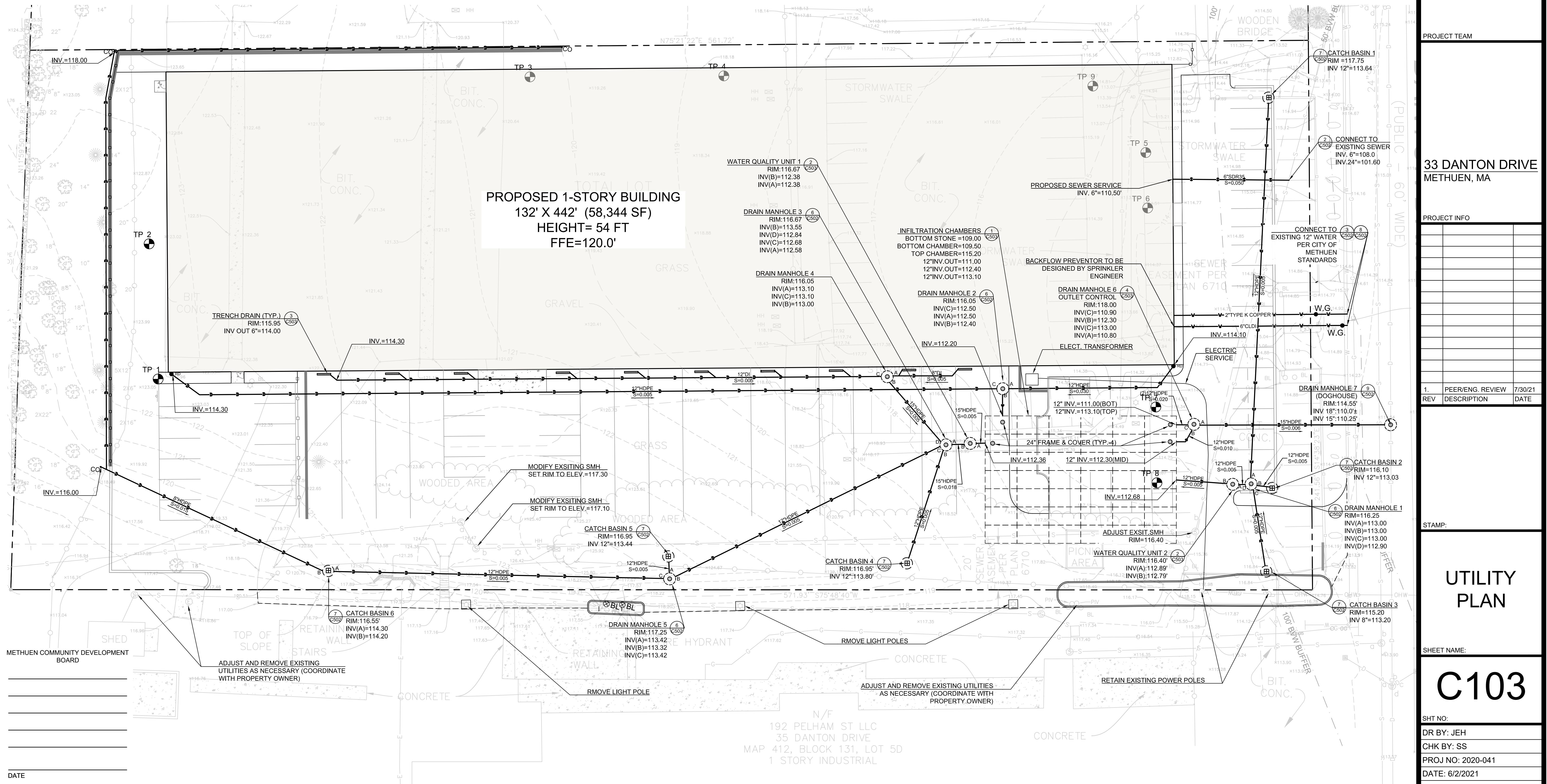
SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.

**WATER: DOMESTIC: 2" COPPER TYPE K TUBING  
PIPE: SILLICATE IRON PIPE (CLASS 50)**

ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER

**SITE DRAINAGE: HDPE PIPE, SIZE AS NOTED.**

ALL PIPING WITHIN 10 FEET OF THE OUTSIDE FACE OF FOUNDATION ARE SUBJECT TO PLUMBING CODE.



## EROSION AND SEDIMENT CONTROL NOTES

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF MELVIN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL INSTALL SILT SACKS IN ALL CATCH BASINS DOWNGRADE OF SITE PRIOR TO COMMENCEMENT OF WORK
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES  $\frac{1}{2}$  TO  $\frac{1}{2}$  THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN  $\frac{1}{2}$  TO  $\frac{1}{2}$  THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMP'S TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMP'S DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDROSEEDING OR JUTE MATTING.
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER. DURING THE PEAK SUMMER MONTHS AND IN THE PALE AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUNDCOVER PRACTICES.
- NO STOCKPILING SHALL TAKE PLACE NEAR DANTON DRIVE OR THE 100' WETLAND BUFFER.

## SOIL CHARACTERISTICS

THE NRCS WEB SOIL SURVEY IDENTIFY THE EXISTING SITE SOILS AS BEING 'HINCKLEY LOAMY SAND'. SITE SPECIFIC SOIL TEST PITS CONFIRM THE SOILS TO BE LOAMY SAND.

## SEQUENCE OF MAJOR ACTIVITIES

- DEMOLISH EXISTING BUILDING
- INSTALL INLET SEDIMENT BARRIERS
- REMOVE EXISTING PAVEMENT AND OTHER MISC STRUCTURES.
- CONSTRUCT BUILDING AND UTILITIES.
- CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
- CONSTRUCT LANDSCAPING.
- REMOVE EROSION CONTROLS.

## EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3' OF NON-ERODIBLE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 90 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:
- TEMPORARY SEEDING.
  - MULCHING.
  - JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BAILE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

## OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

## TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRAVING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BAILE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

METHUEN COMMUNITY DEVELOPMENT BOARD

## SPILL CLEAN-UP & NOTIFICATION PROCEDURES

BE PREPARED TO CONTAIN SPILLS TO PREVENT SPREADING. SPILL KITS ARE RECOMMENDED TO BE KEPT ON HAND BY ANYONE WORKING ON SITE. SPILL CLEANUP MATERIALS RECOMMENDED TO BE KEPT ON HAND MAY INCLUDE: SORBENT MATERIALS SUCH AS CLAY (KITTY LITTER), POLYPROPYLENE BOOMS AND PADS, RAGS AND SAWDUST TO CONTAIN SPILLS IMMEDIATELY.

IN THE EVENT OF SPILL OCCURRENCE, THE FOLLOWING ACTIONS ARE TO BE TAKEN:

- CONTAIN THE SPILL IMMEDIATELY, IF SAFE TO DO SO.
- WEAR PERSONAL PROTECTIVE EQUIPMENT (PPE), IF NECESSARY & WHEN TIME ALLOW.
- CONTINUE TO CONTAIN THE SPILL USING ABSORBENT OR ABSORBENT SOCKS OR BOOMS TO MINIMIZE THE EXTENT OF THE SPILL.
- PROTECT SENSITIVE RECEPTORS SUCH AS DRAINS, STORM DRAINS, SURFACE WATER BODIES, AND MINIMIZE THE AMOUNT OF UNCONTROLLED SPILL.
- BLOCK OFF THE SPILL AREA WITH "CAUTION" TAPE. THE AREA SHOULD CONSIST OF THE ENTIRE SPILL AREA PLUS A BUFFER OF AT LEAST THREE FEET.
- FOR SPILLS LESS THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A TRUCK OR CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
- FOR SPILLS GREATER THAN 5 GALLONS, ATTEMPT TO CONFINE AND CALL A TRUCK OR CONTRACTOR IF ASSISTANCE IS REQUIRED WITH PRODUCT RECOVERY AND CONTAINMENT.
- CORROSIVE SPILLS SHOULD BE NEUTRALIZED USING AN APPROPRIATE NEUTRALIZING AGENTS.
- CLEAN UP THE SPILL FROM THE PERIMETER INWARD USING APPROPRIATE ABSORBENT (CLAYS, PADS, PILLOWS, ETC).
- COLLECT ALL CONTAMINATED MEDIA IN DRUMS, IF QUANTITIES PERMIT.
- CLEAN ALL REUSABLE EQUIPMENT USING RAGS AND CLEANERS APPROPRIATE.
- DISPOSE OF ALL DISPOSABLE EQUIPMENT (e.g. PPE) IN DRUMS.
- WASH HANDS AND OTHER BODY SURFACES THAT MAY HAVE CONTACTED THE SPILLED MATERIAL.
- AFTER THE SPILL HAS BEEN CLEANUP, PROVIDE WRITTEN DOCUMENTATION OF THE SPILL AND REPORT TO THE CITY, IF REQUIRED.

## ADDITIONAL NOTES FOR WINTER CONSTRUCTION

- ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.
- AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT

## DUST CONTROL

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

## STABILIZED CONSTRUCTION ENTRANCE

### 1. SPECIFICATIONS

- AGGREGATE SIZE: USE 1.5-INCH TO 3-INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
- LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

### 2. MAINTENANCE

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

## WASTE DISPOSAL

### 1. WASTE MATERIALS

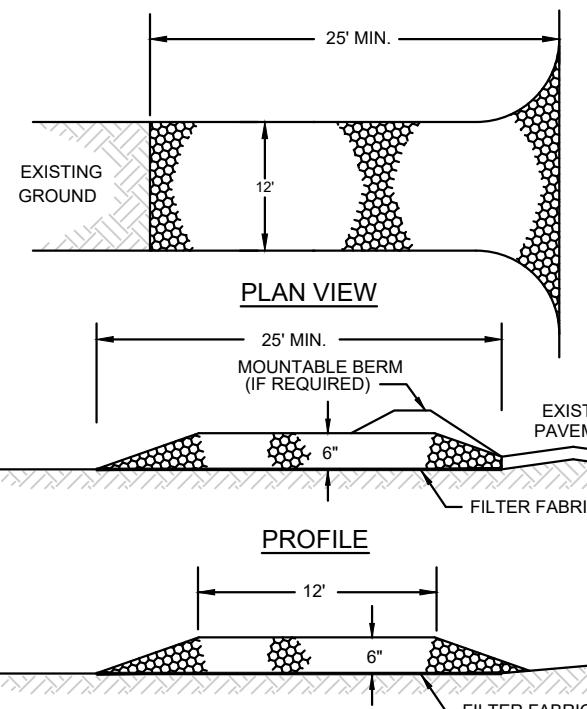
- ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

### 2. HAZARDOUS WASTE

- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

### 3. SANITARY WASTE

- ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



## CONSTRUCTION SPECIFICATIONS

STONE SIZE - 1.5-INCH TO 3-INCH ROCK (100% PASSING 1.5-INCH SIEVE)

LENGTH - 25 FOOT MINIMUM.

THICKNESS - SIX (6) INCHES (MINIMUM).

WIDTH - 12' MINIMUM.

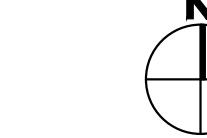
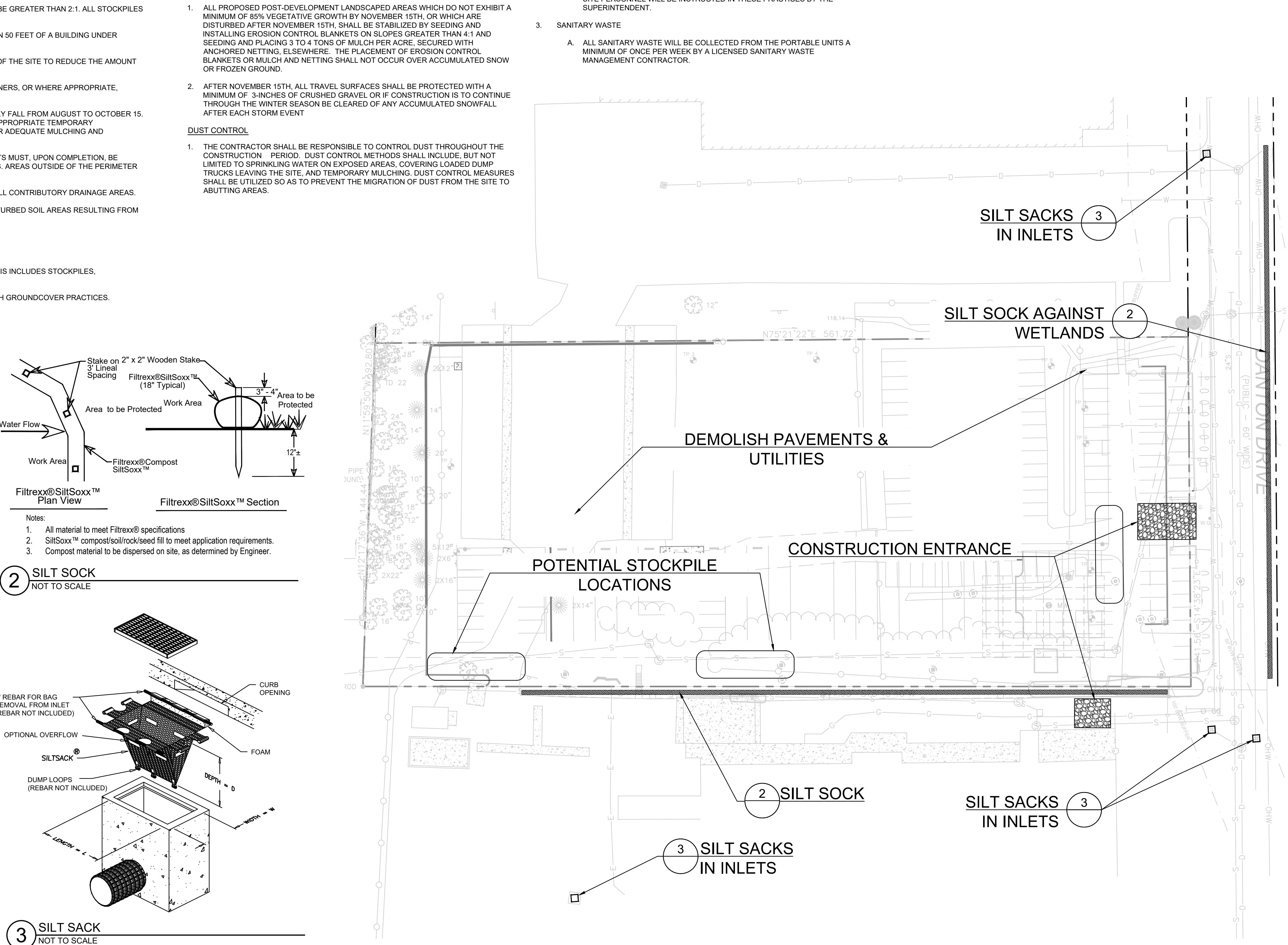
FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE STABILIZED ENTRANCE. DRAINS SHOULD NOT BE PUMPED. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH APPROVED STABILIZATION MATERIAL AS NEEDED. IN THE EVENT OF A MAJOR STORM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

## CONSTRUCTION ENTRANCE

NOT TO SCALE



Design Consultants Inc.  
Somerville - Quincy - Newmarket

DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455  
PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE  
  
EROSION & SEDIMENT CONTROL PLAN  
SHEET NAME: C104  
SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 6/2/2021  
SCALE: 1"=40'

DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

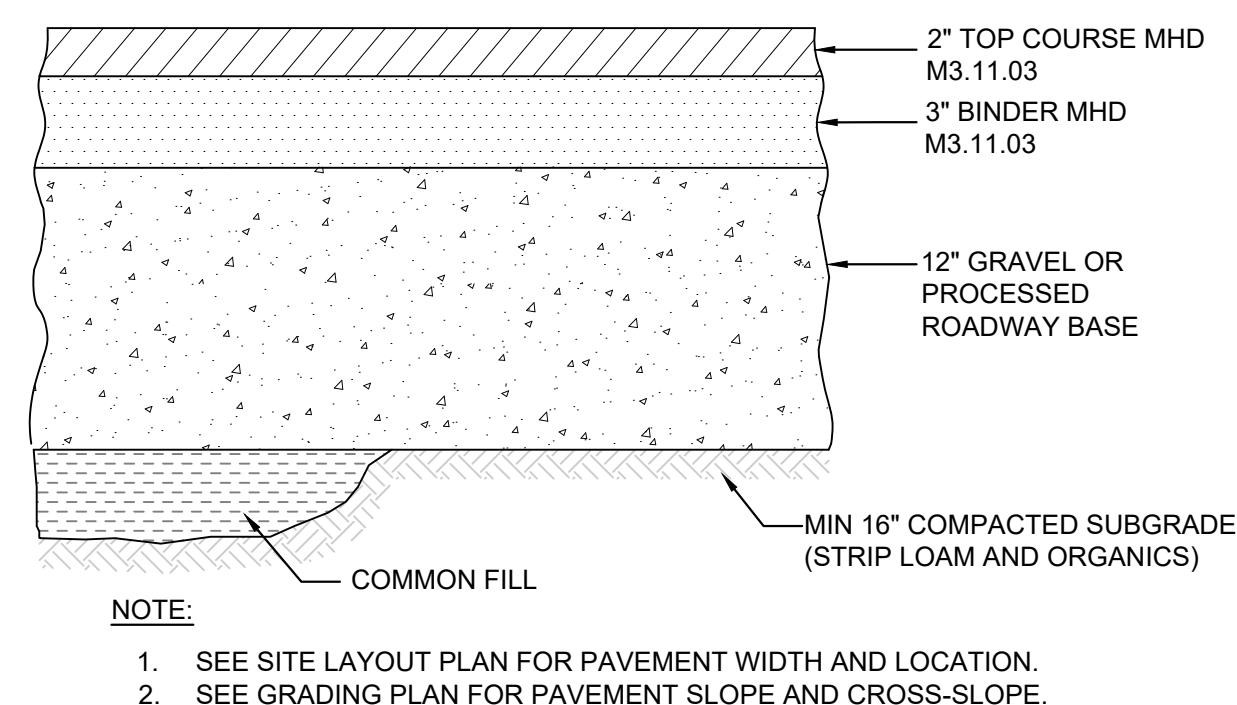
1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE

STAMP:  
**SITE & GRADING DETAILS**

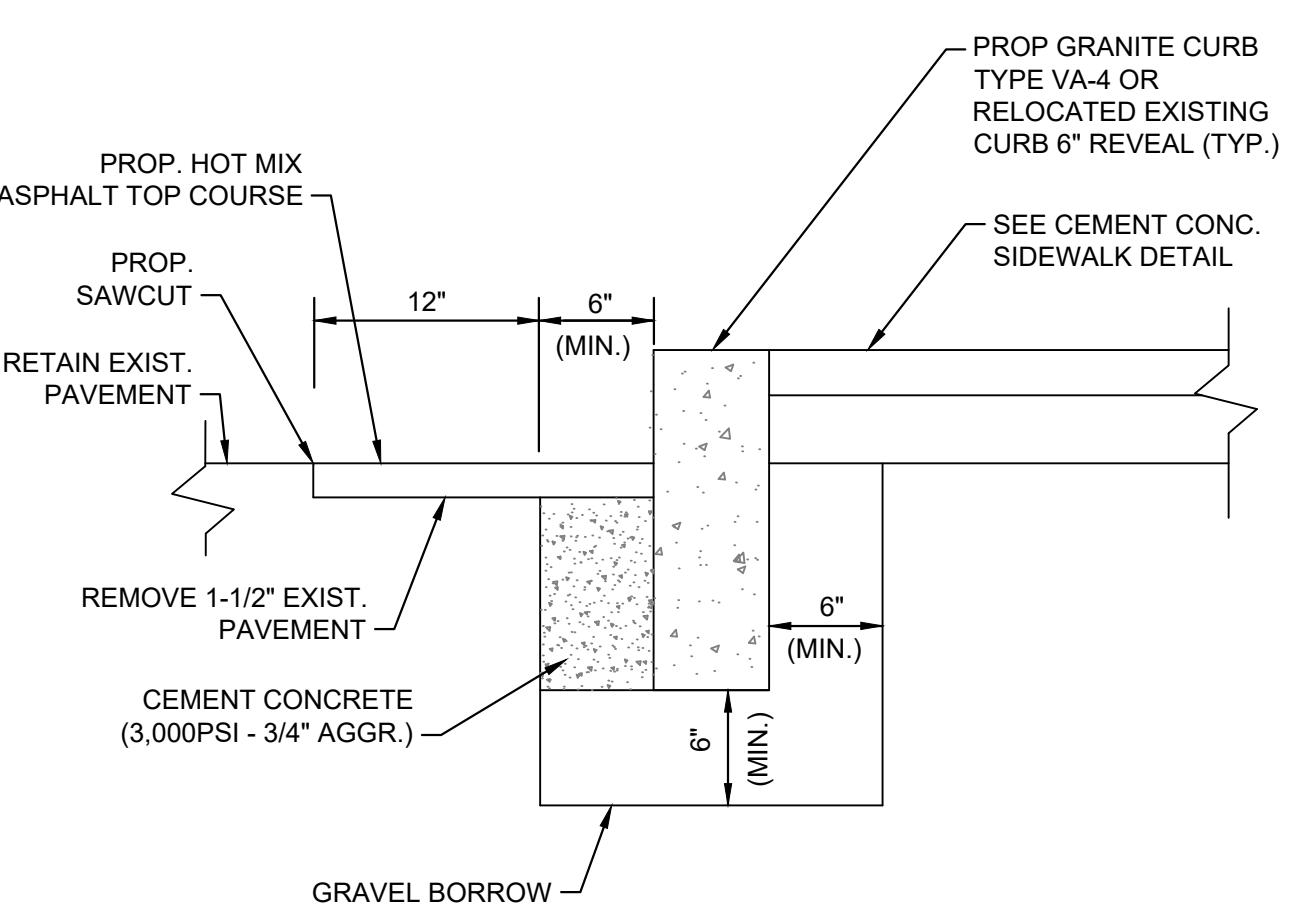
SHEET NAME:

**C501**

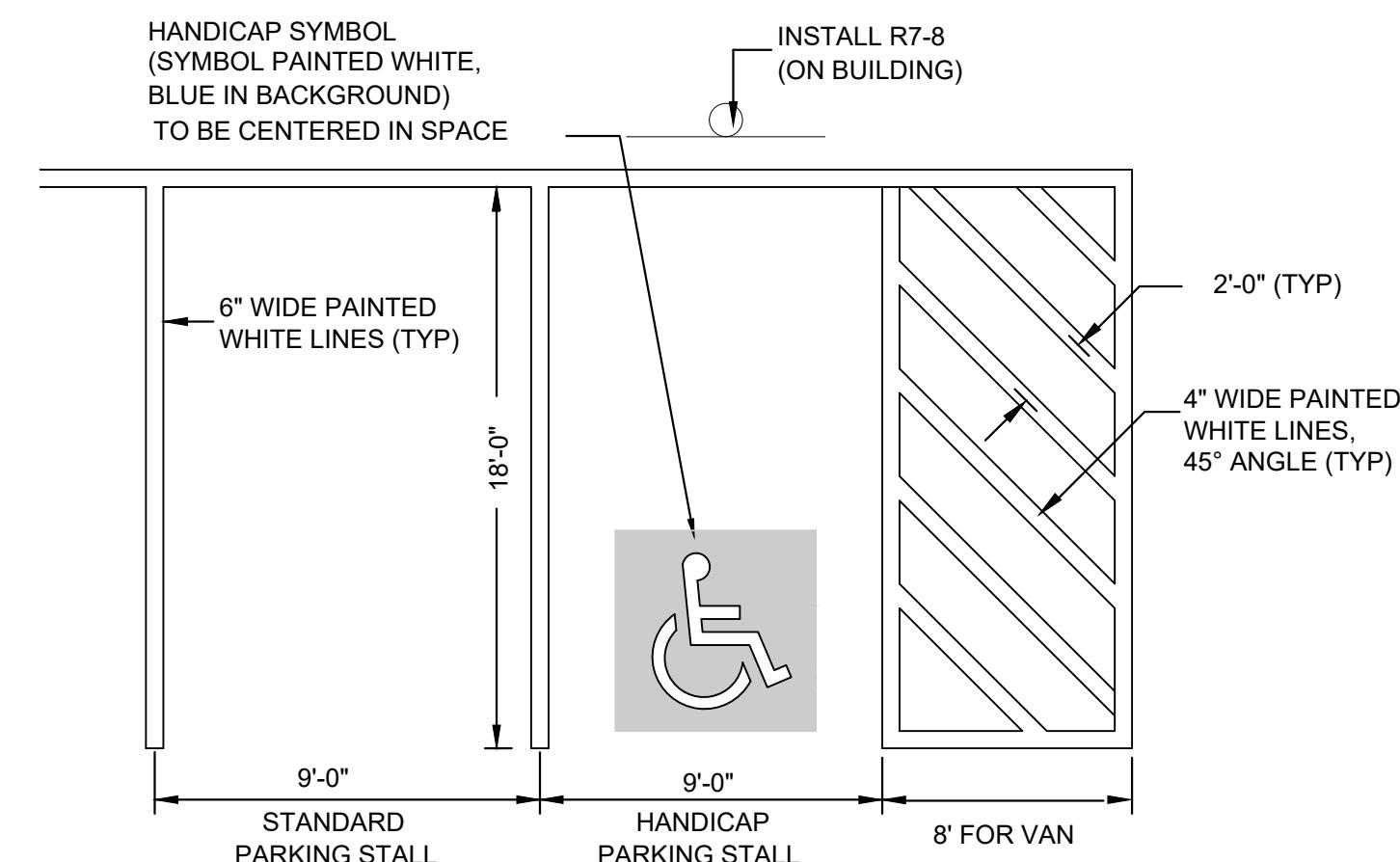
SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 06/20/2021  
SCALE: NTS



**1 BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE

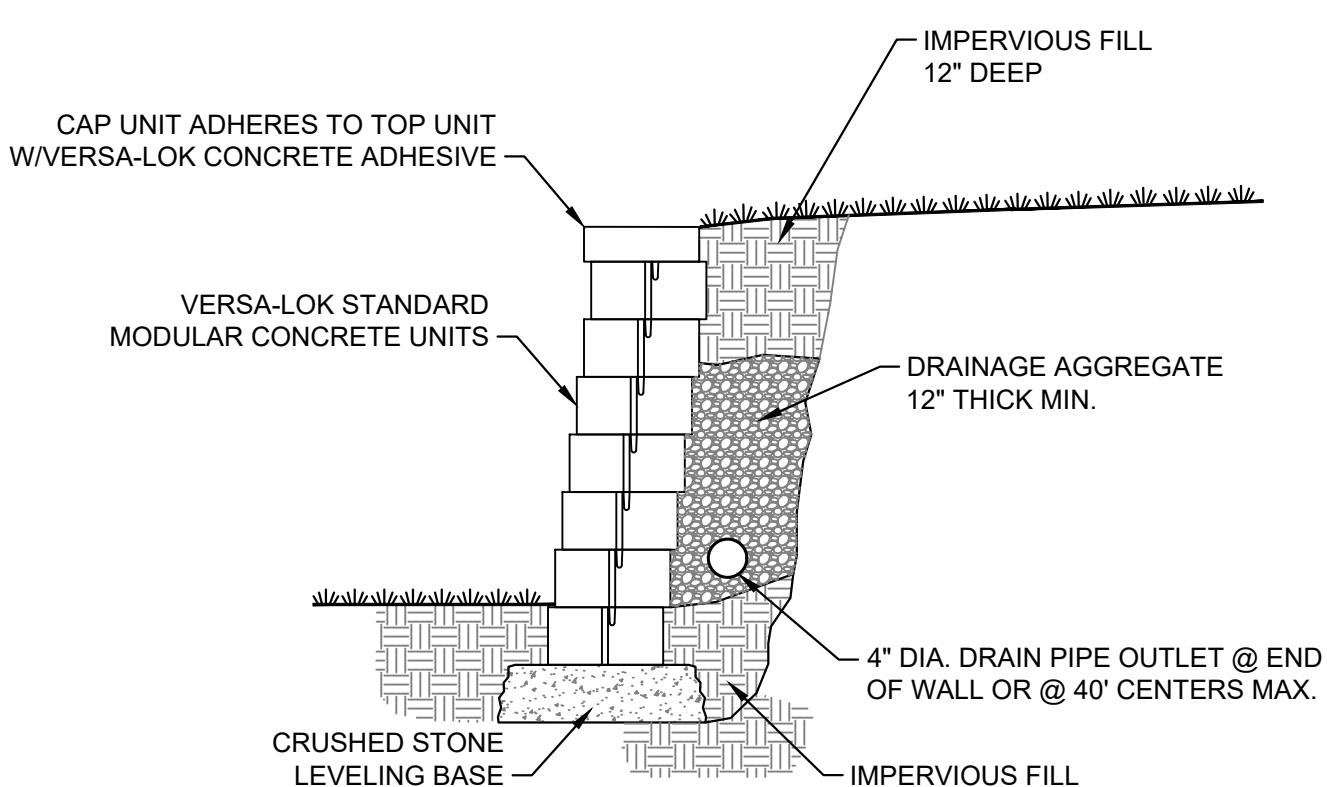


**2 VERTICAL GRANITE CURB**  
NOT TO SCALE



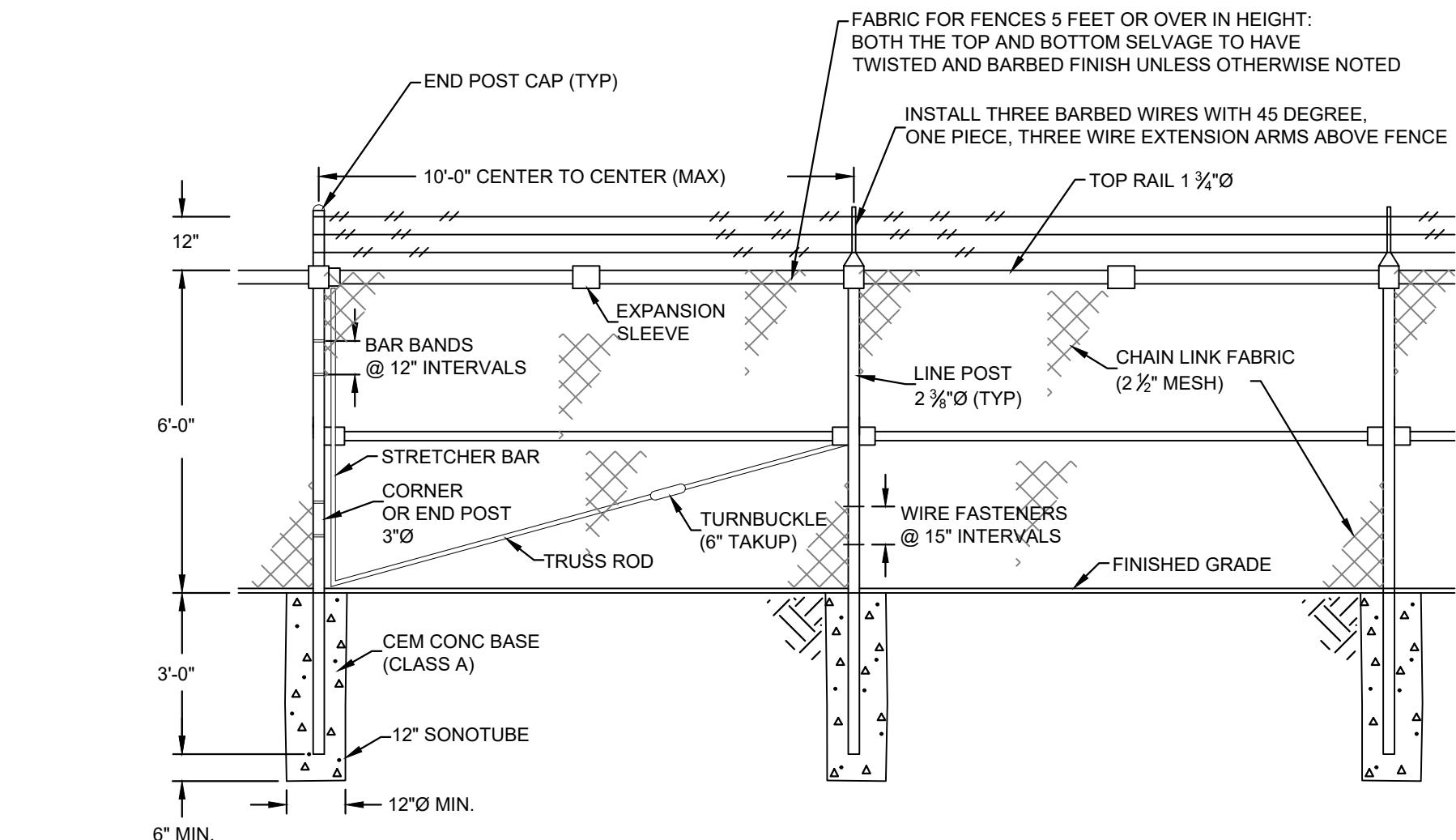
NOTE:  
1. ALL PAINT SHALL BE FAST DRYING WHITE TRAFFIC PAINT, MEET THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.  
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

**3 ACCESSIBLE PARKING SPACE**  
NOT TO SCALE



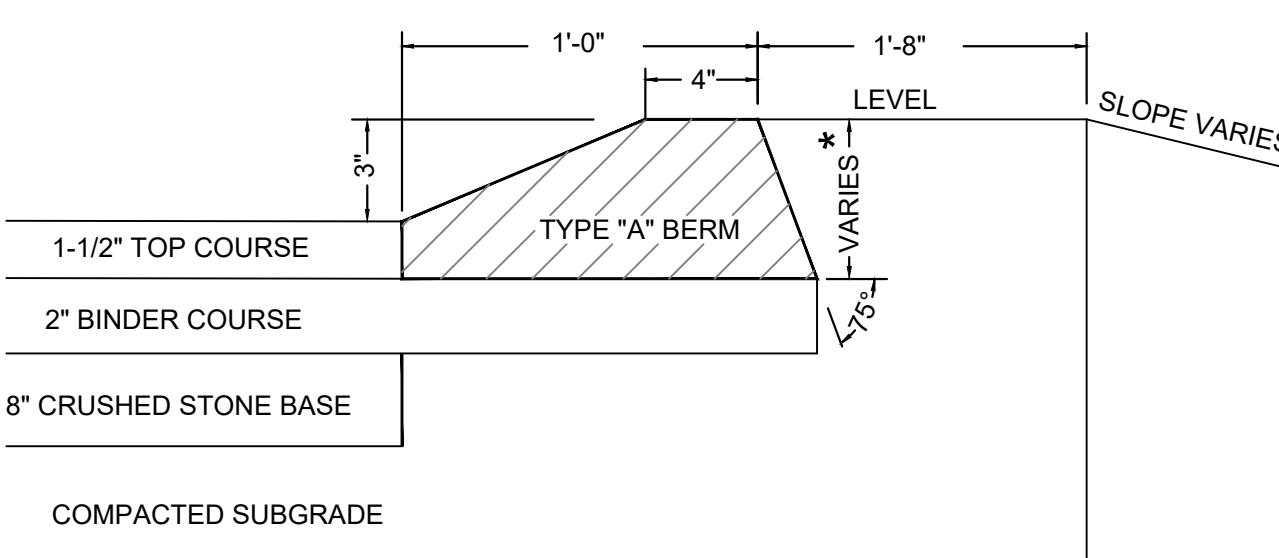
NOTES:  
W = SIDEWALK WIDTH  
Wc = CURB WIDTH  
\* = TOLERANCE FOR CONSTRUCTION  $\pm 0.5\%$   
SECTION A-A

**4 CURB RAMP**  
NOT TO SCALE



NOTES: ALL FENCE MATERIALS SHALL BE HOT-DIPPED GALVANIZED

**5 RETAINING WALL**  
NOT TO SCALE



NOTES:  
\* THIS DIMENSION VARIES WITH THE THICKNESS OF THE TOP COURSE AND SLOPE OF SHOULDER

**7 HOT MIX ASPHALT BERM**  
NOT TO SCALE

DATE

DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
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33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

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REV. DESCRIPTION DATE

STAMP:

## UTILITY DETAILS

SHEET NAME:

**C502**

SHT NO:

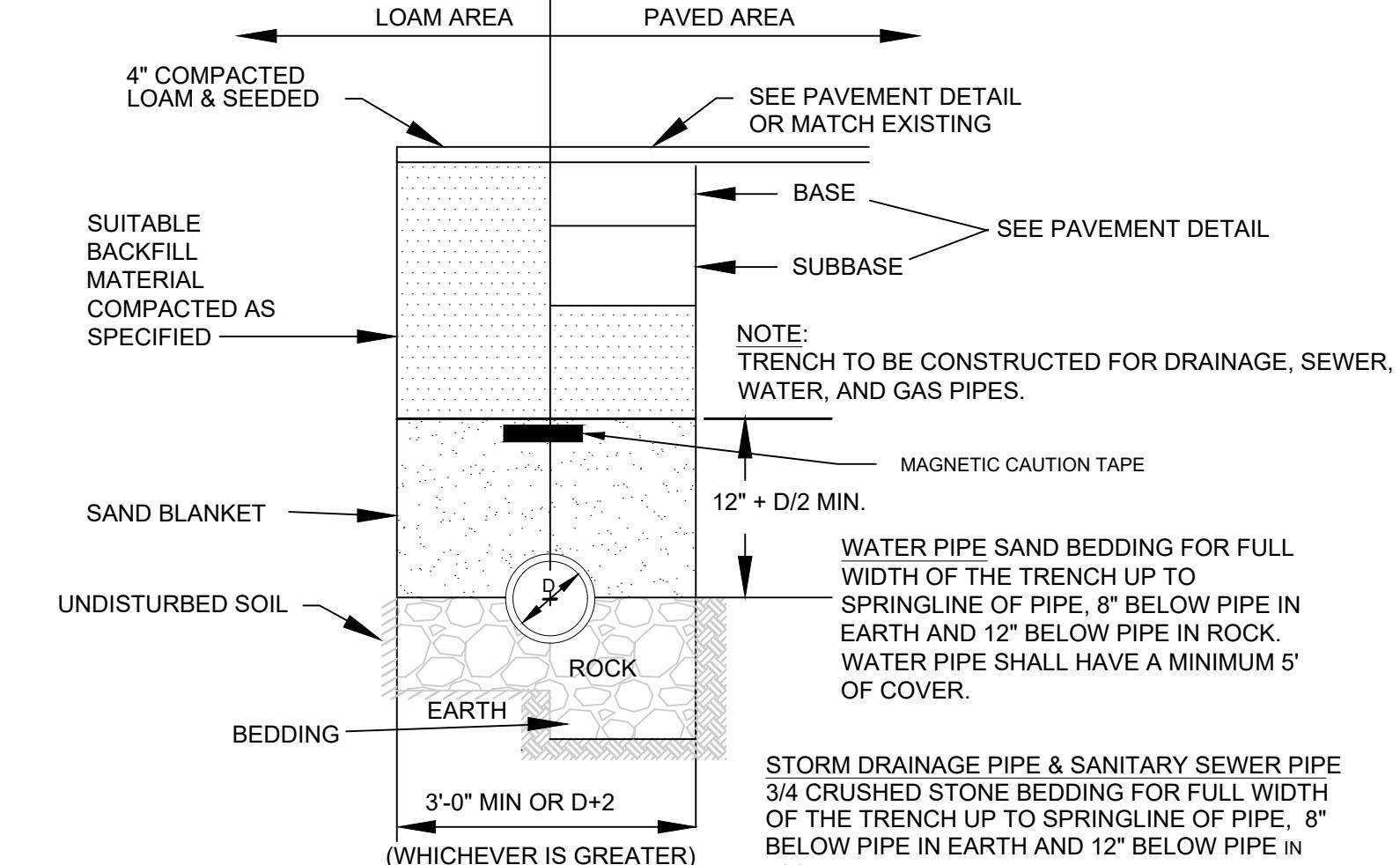
DR BY: JEH

CHK BY: SS

PROJ NO: 2020-041

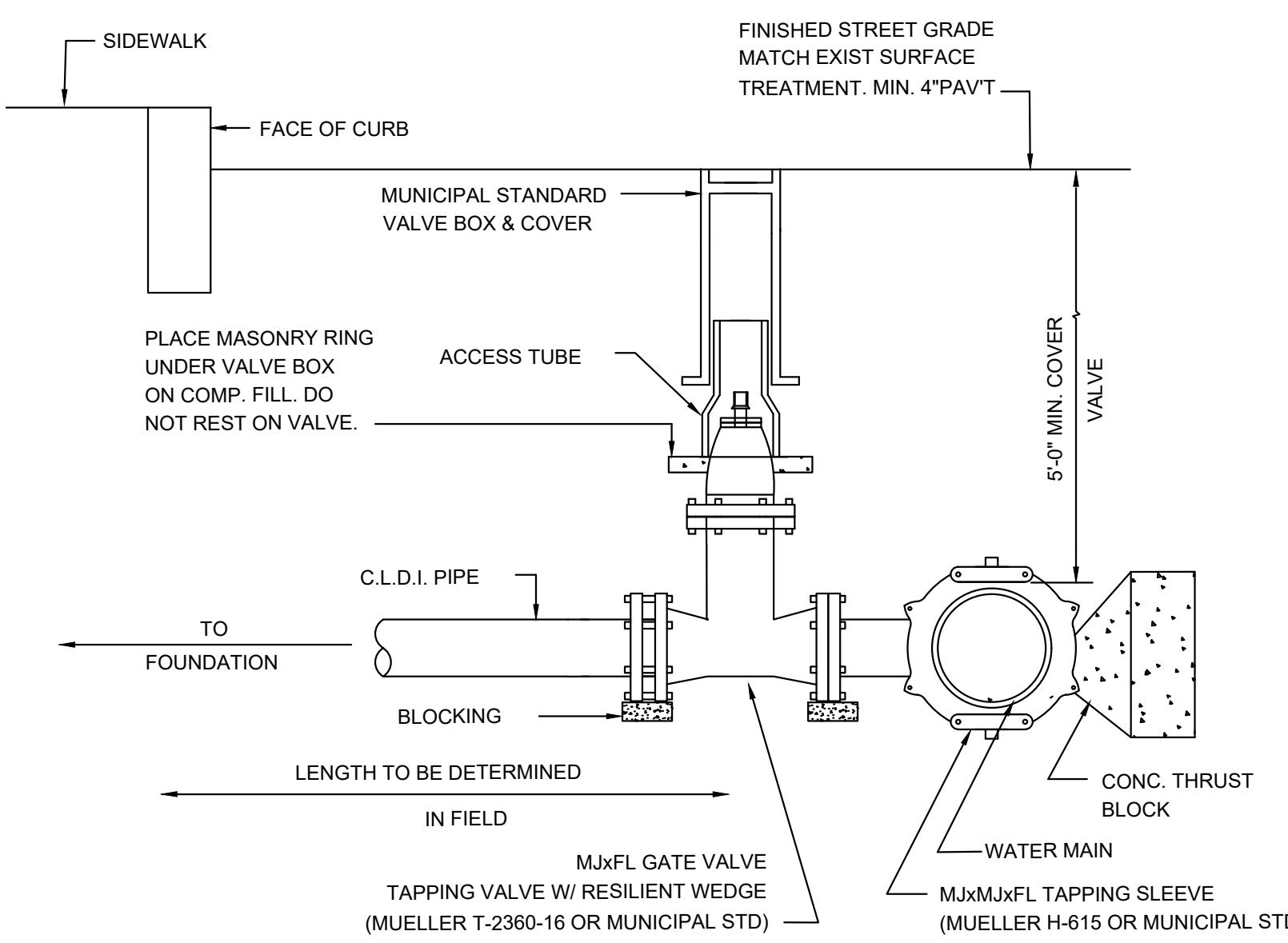
DATE: 06/02/2021

SCALE: NTS



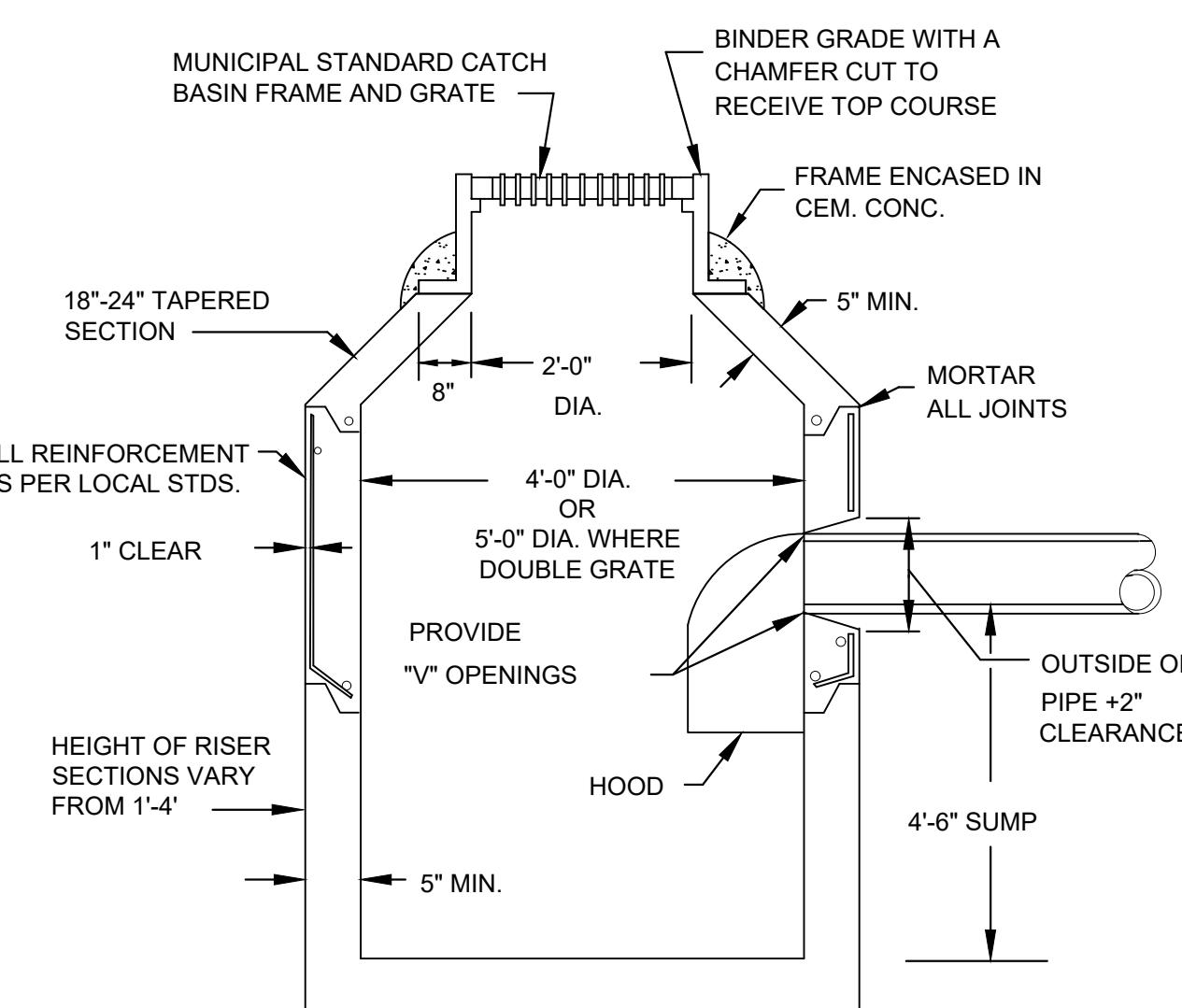
BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPAKTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPAKTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

### 1 UTILITY TRENCH NOT TO SCALE

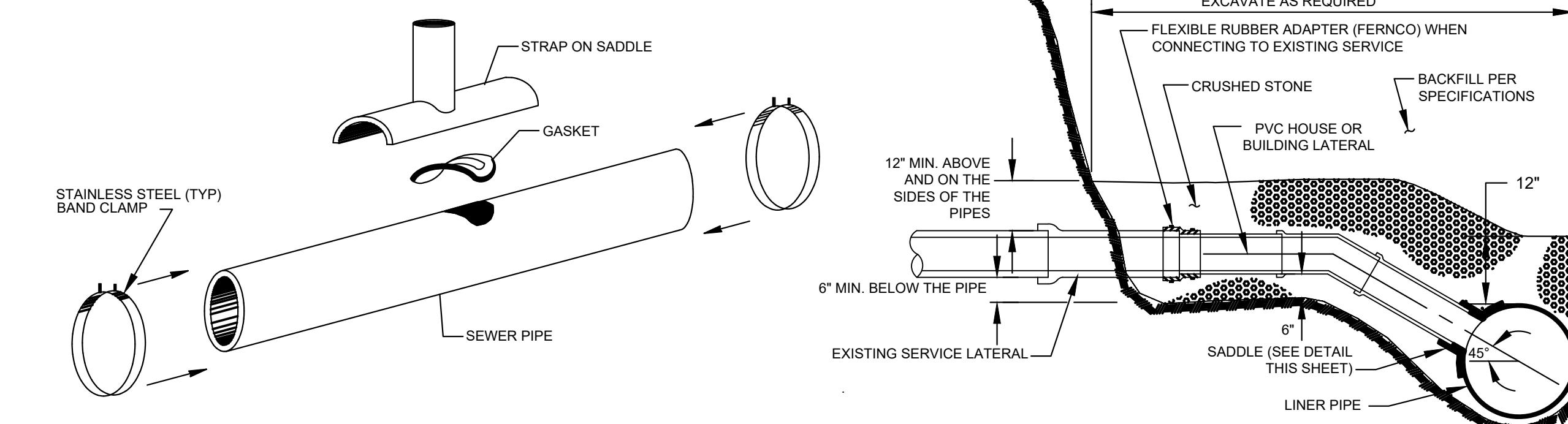


- NOTE:  
1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.  
2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

### 3 WATER MAIN CONNECTION AT STREET MAIN NOT TO SCALE



### 7 CB (CATCH BASIN) NOT TO SCALE



NOTES:  
1. REPLACE EXISTING SERVICE LINE TO EXTENT SHOWN ON PLAN/PROFILES AND AS SPECIFIED.

### 4 THRUST BLOCKING NOT TO SCALE

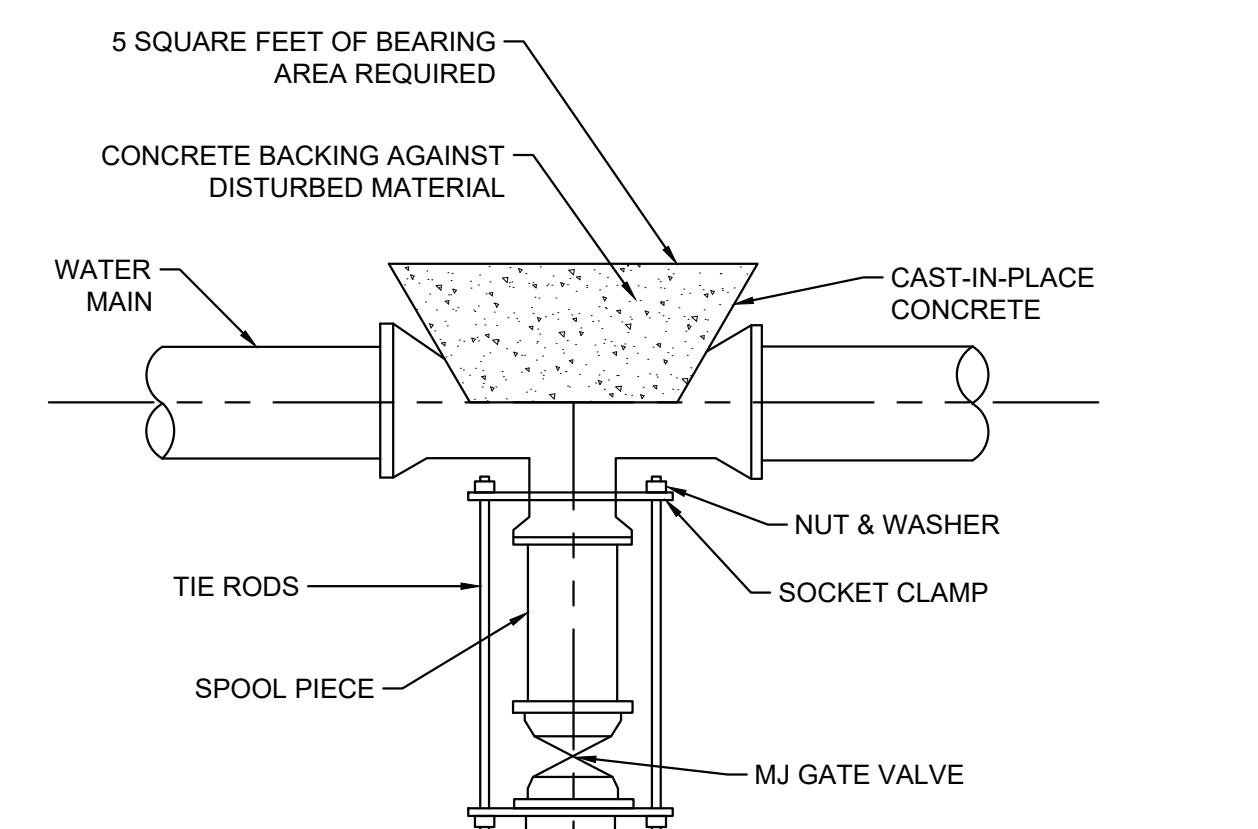
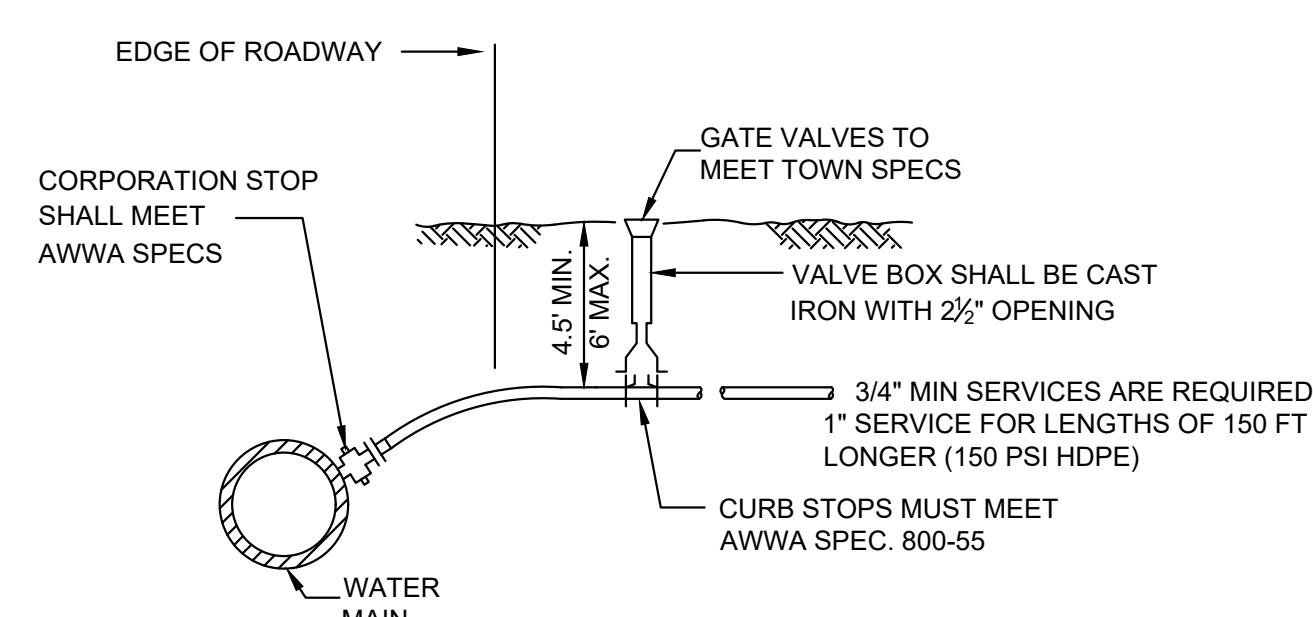
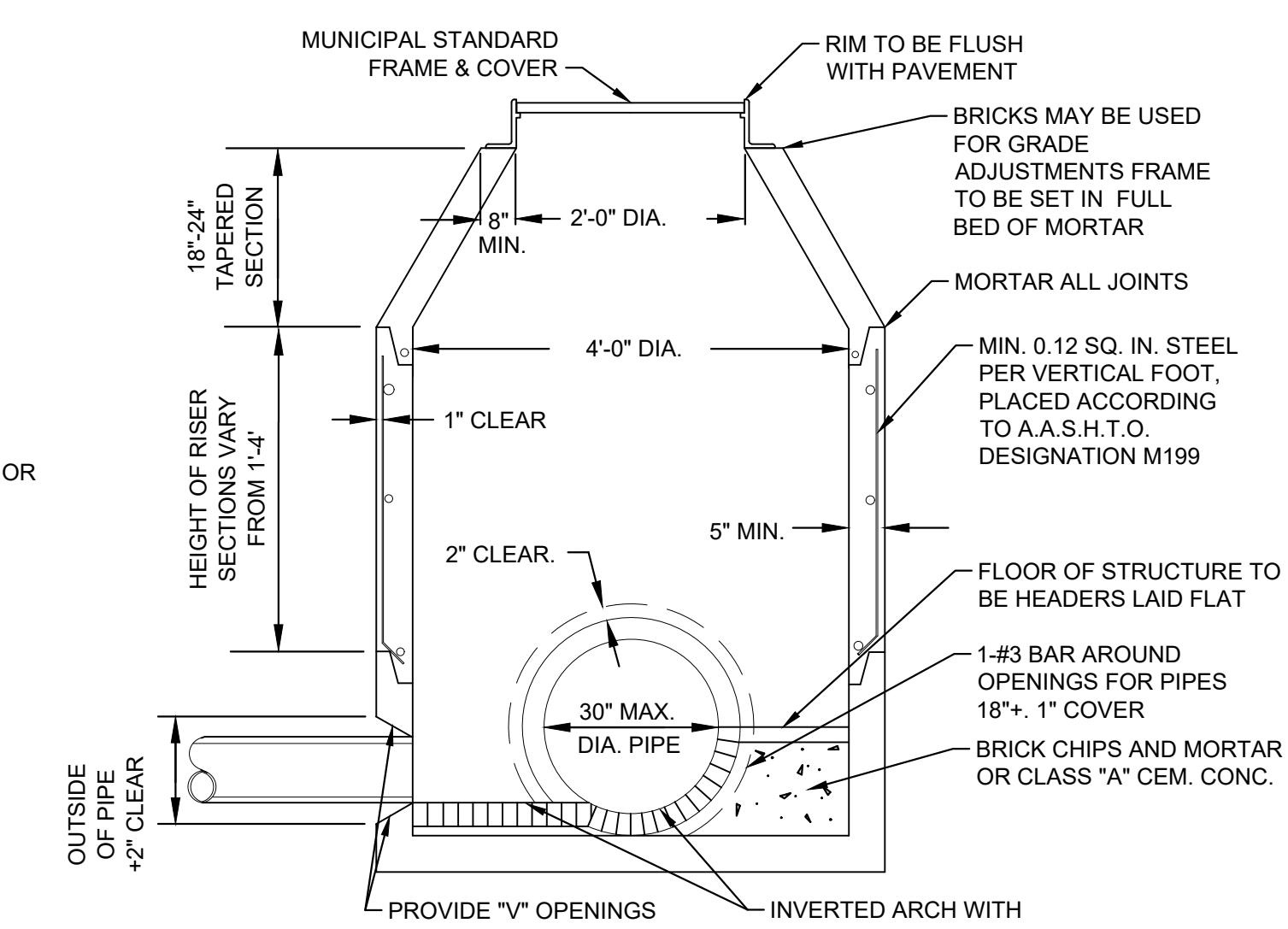


TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS			
SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22.5° BEND
8" OR LESS	4	5	2
10"	6	8	3
12"	9	12	5
16"	12	16	7
20"	20	25	10

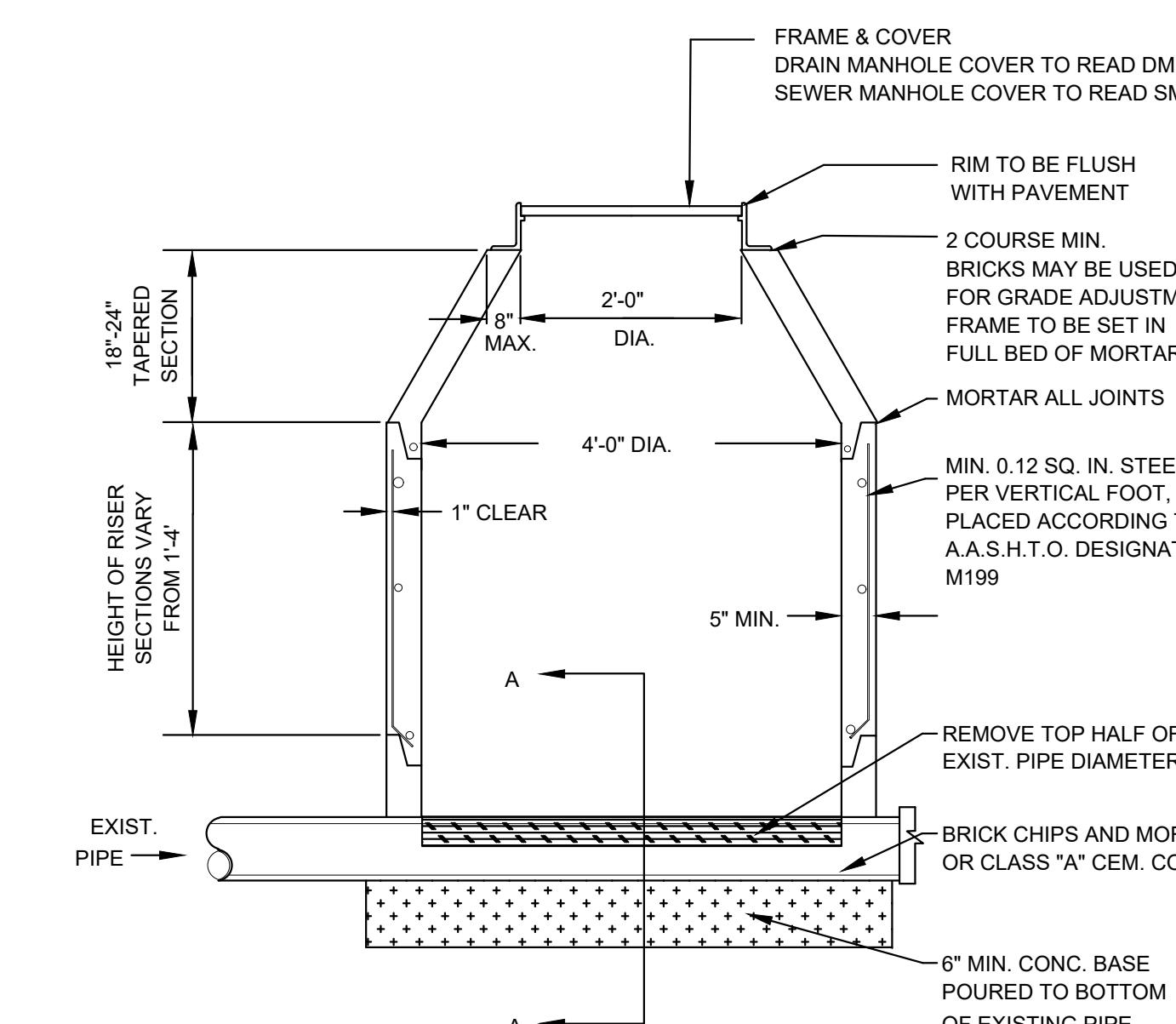
### 5 DOMESTIC WATER SERVICE CONNECTION NOT TO SCALE



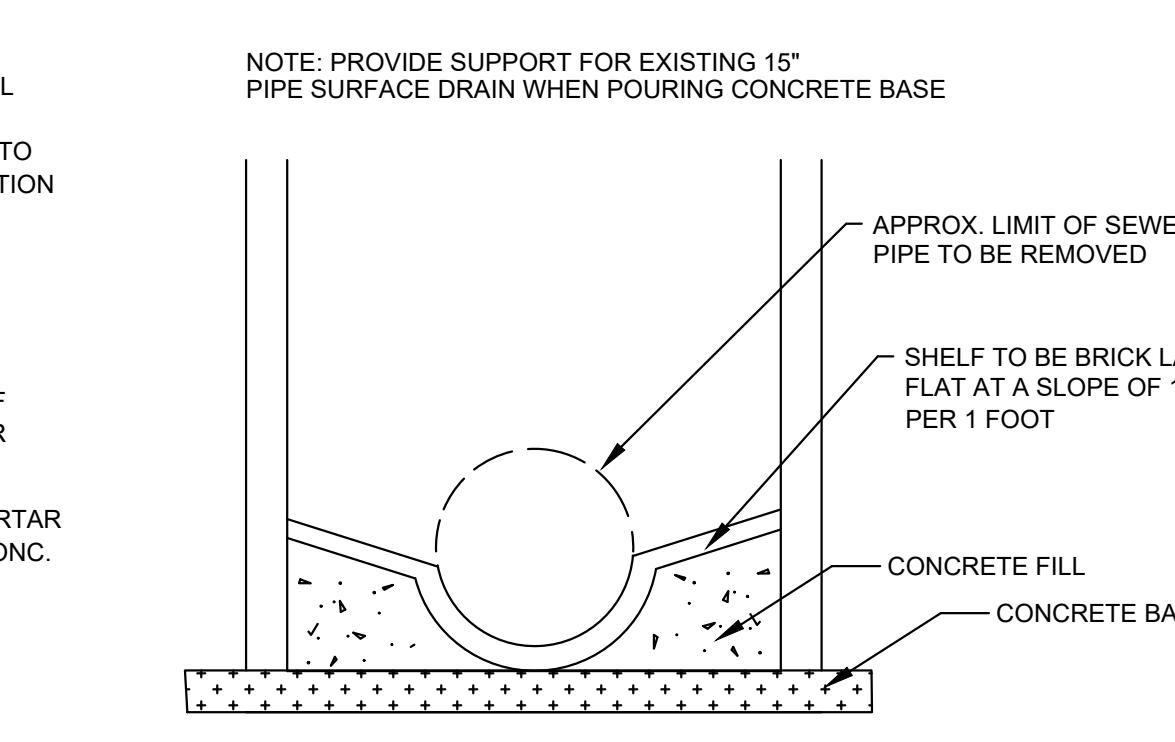
NOTES:  
1. PIPING FROM WATER MAIN TO CURB STOP SHALL BE COPPER TUBING SHALL MEET AWWA Spec. 76-CR TYPE K OR FEDERAL Spec. WWT-799 TYPE K.  
2. ALL MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO TOWN WILMINGTON WATER DEPARTMENT REGULATIONS.



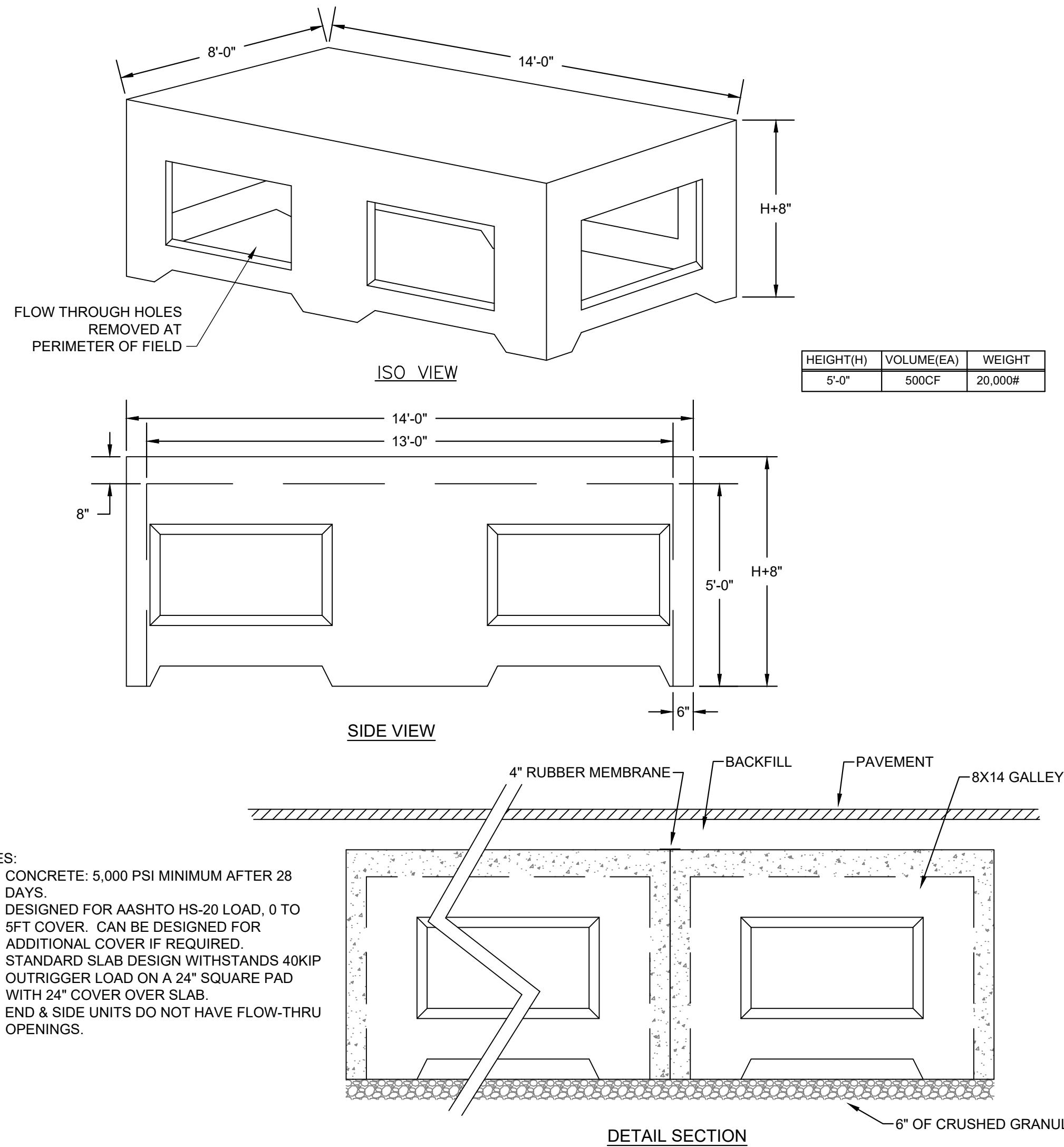
### 6 PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE



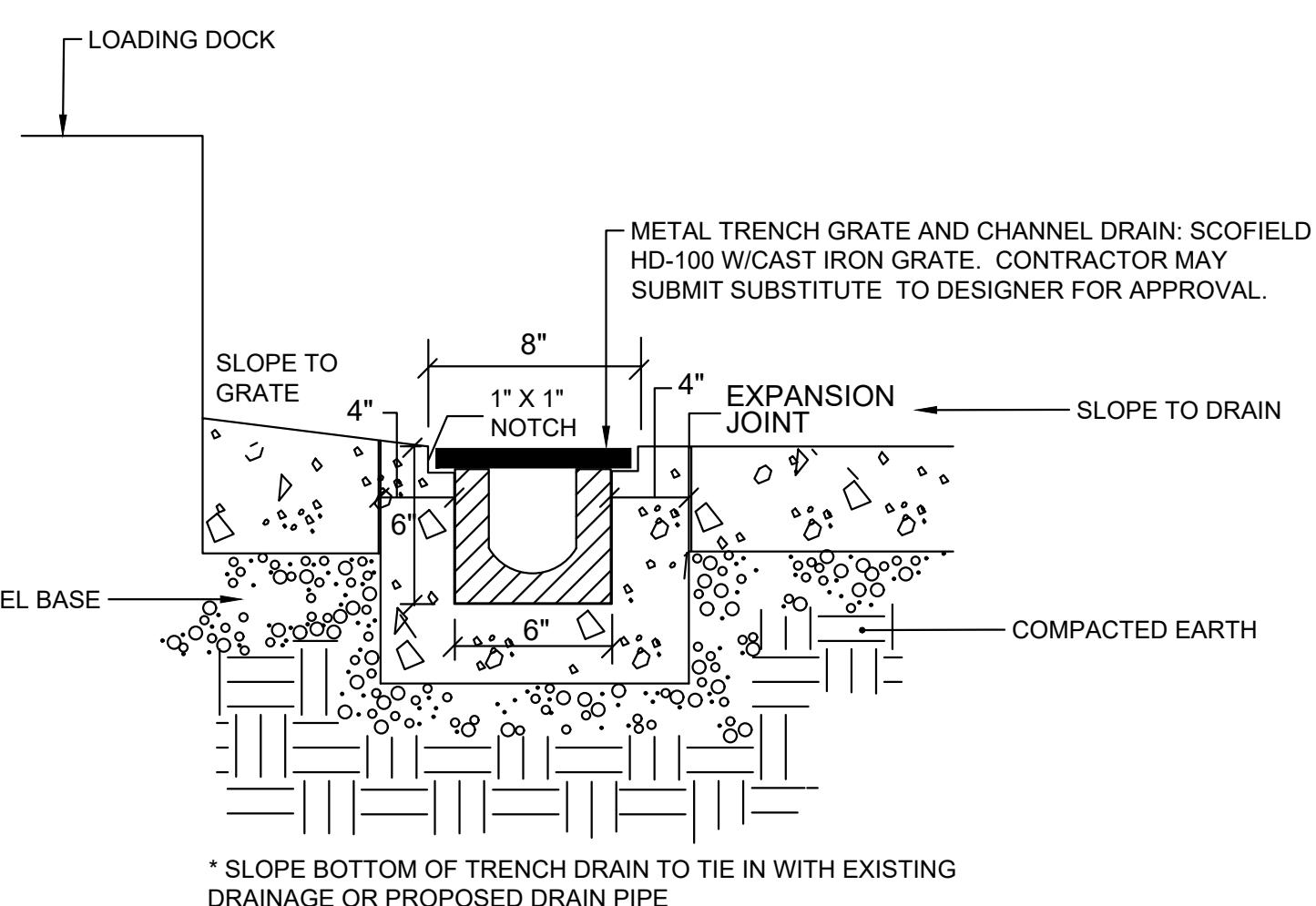
### 8 COPPER SERVICE CONNECTION NOT TO SCALE



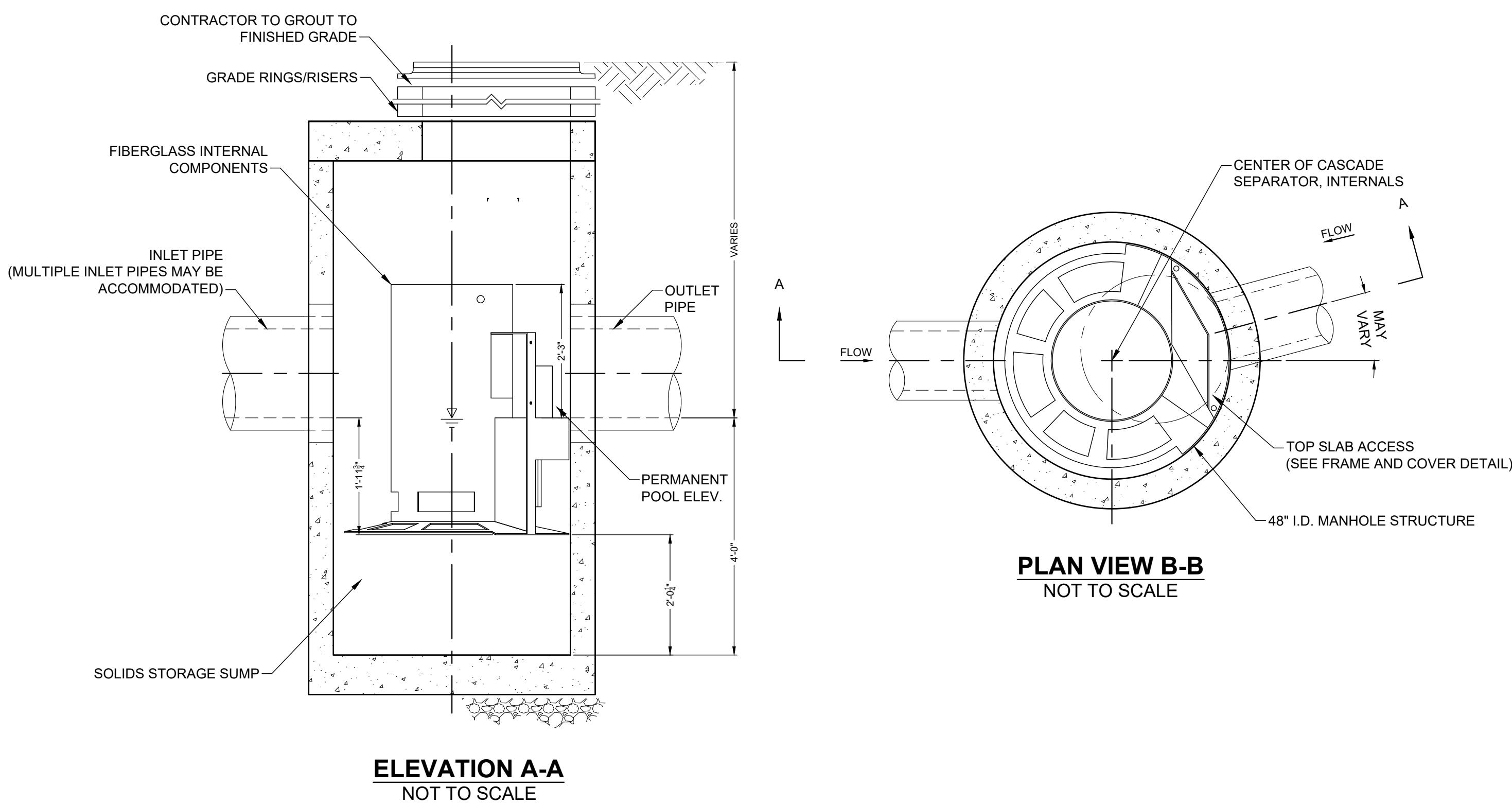
### 9 PRECAST CONCRETE DRAIN MANHOLE OVER EXISTING PIPE NOT TO SCALE



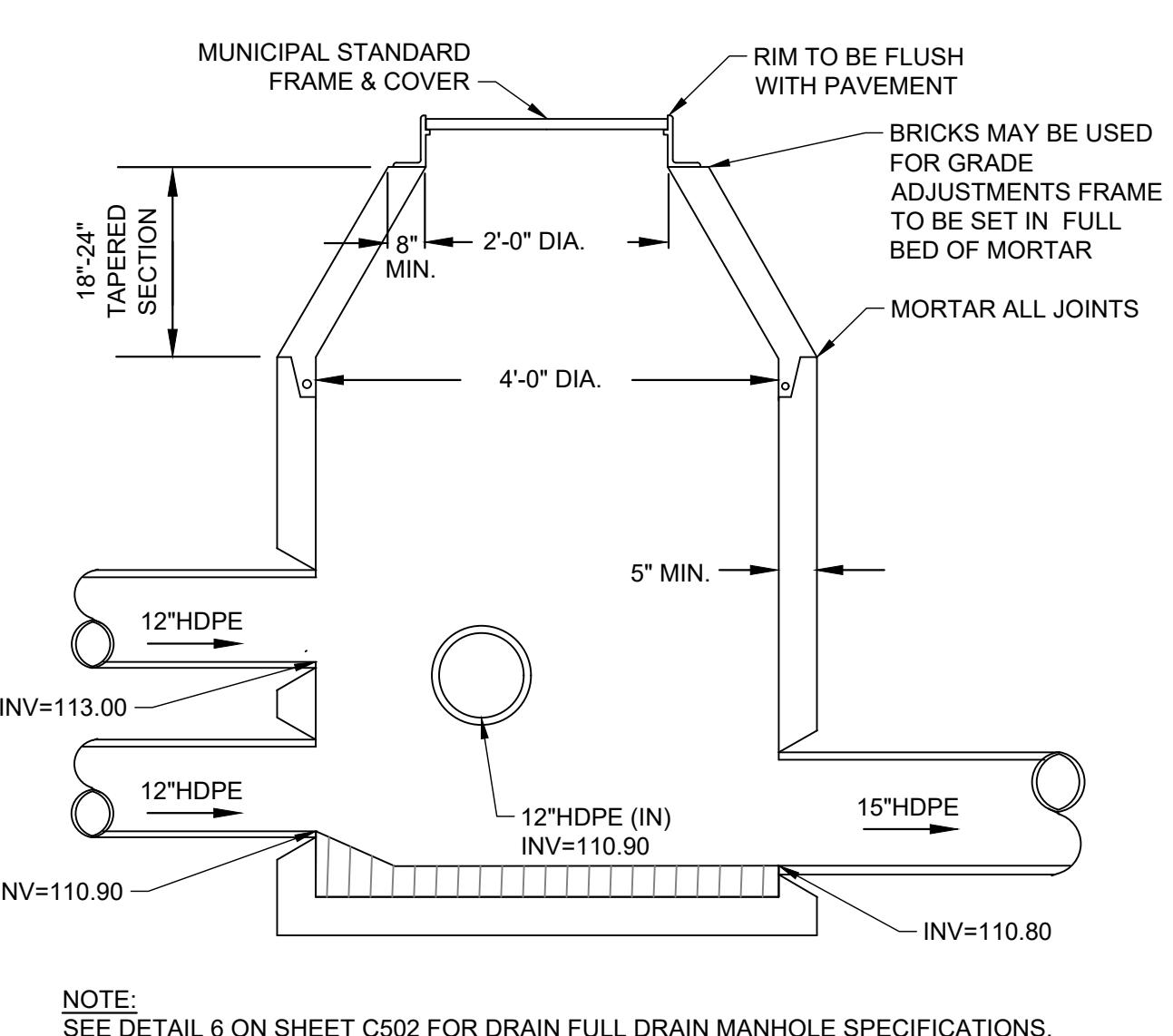
1 DRYWELL/INFILTRATION SYSTEM



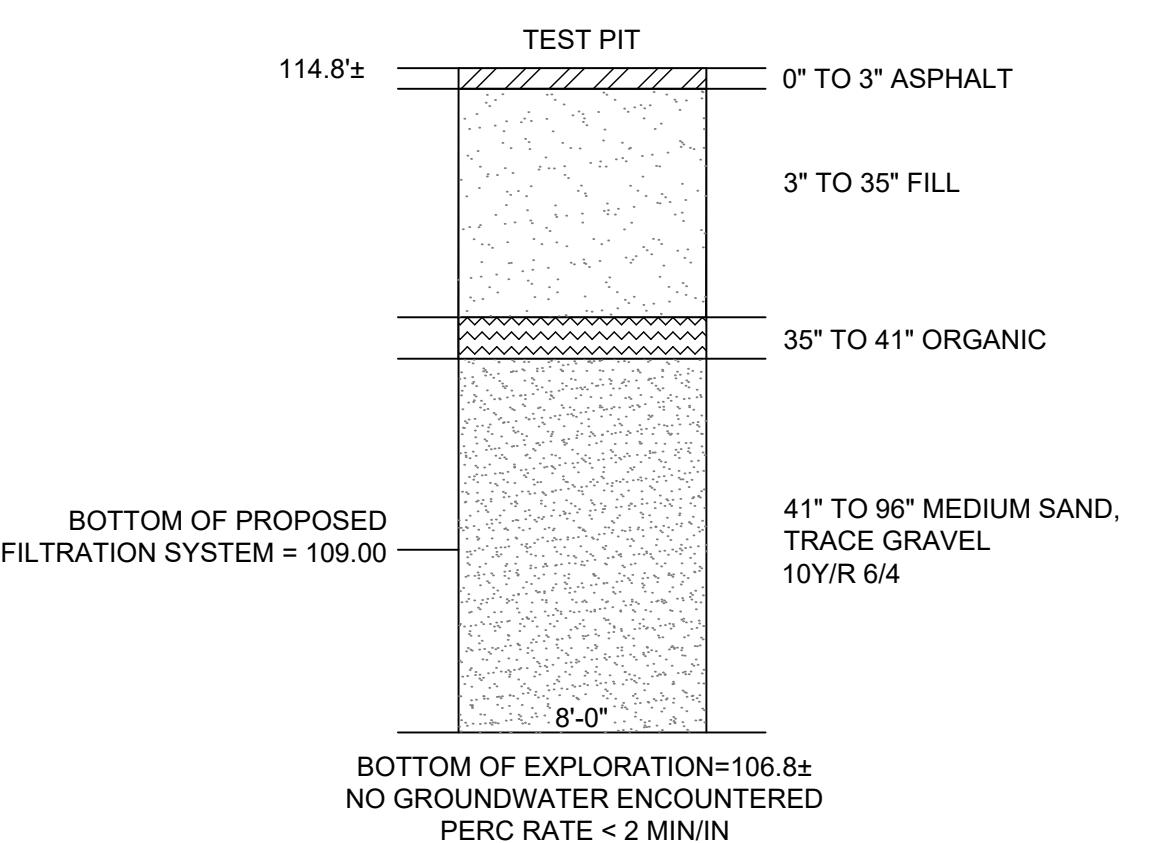
3 TRENCH DRAIN



2 WATER QUALITY UNIT - CONTECH CASCADE



4 DRAIN MANHOLE (OUTLET CONTROL STRUCTURE)



5 TP 8 SOIL PROFILE

METHUEN COMMUNITY DEVELOPMENT BOARD  
SHEET NAME: C503  
SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 06/02/2021  
SCALE: NTS

DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE

STAMP:

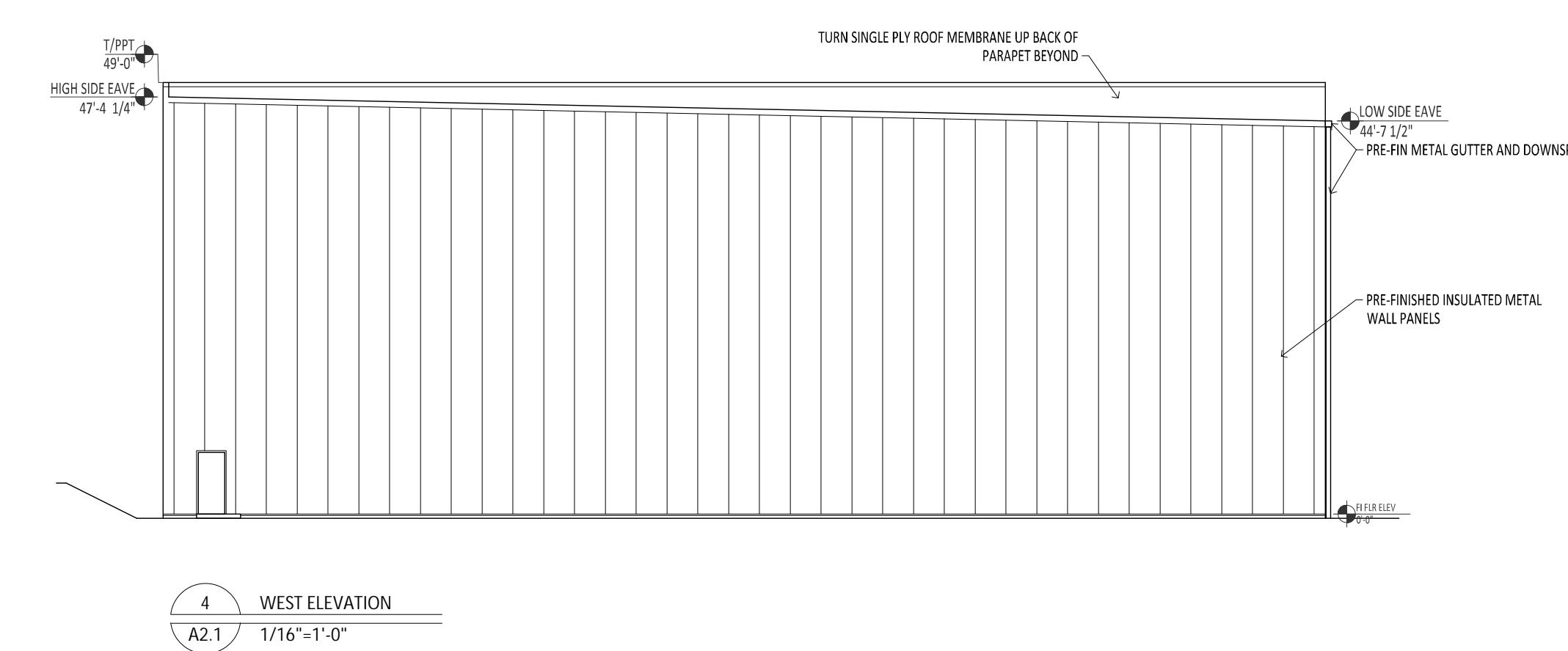
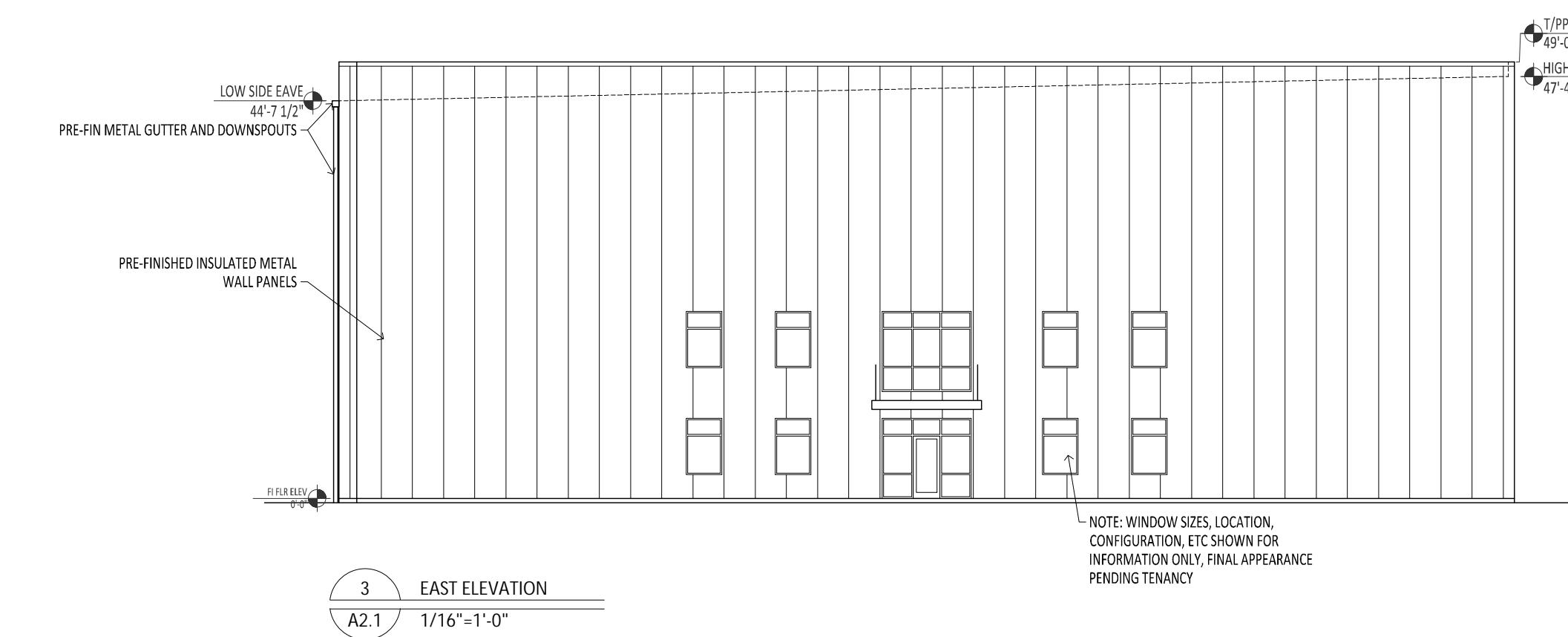
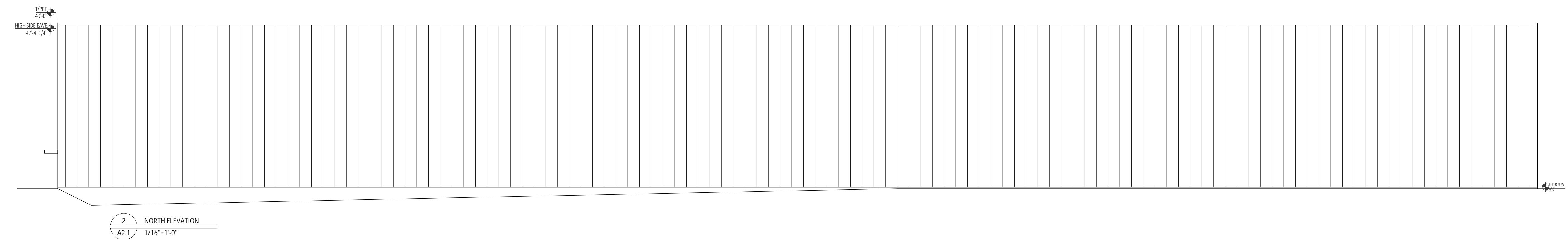
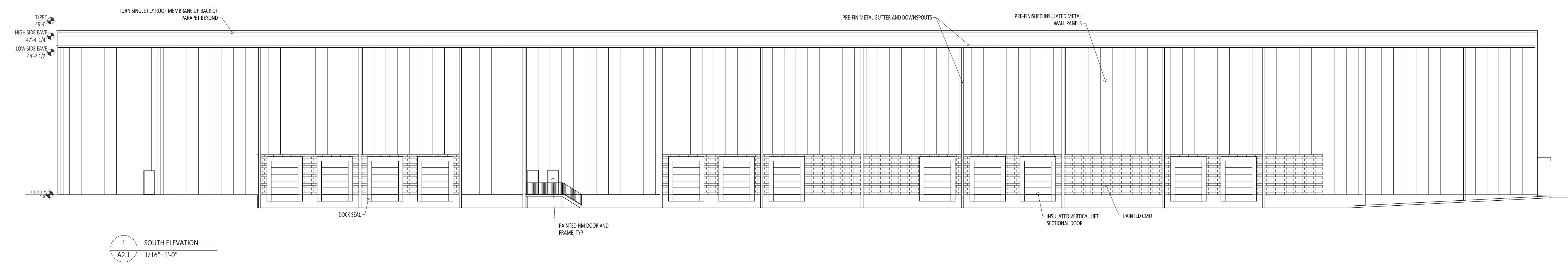
DRAINAGE  
DETAILS

SHEET NAME:

C503  
SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 06/02/2021  
SCALE: NTS

NORTH  
**DCI**  
Design Consultants Inc.  
Somerville • Quincy • Needham  
www.dciinc.com





Project Title:  
**REFRIGERATED WAREHOUSE**  
33 DANTON DRIVE  
METHUEN, MA

Drawing Title: **ELEVATIONS**  
Seal:

Released for Construction Date: 27MAY21

Revisions	

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9195 Duron Circle  
Gooseville, Georgia 30506  
(770)855-8805

Project No.: \_\_\_\_\_

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**PHA**  
Patrick Higgins  
ARCHITECT

**A2.1**