

LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 300' 10' CONTOUR INTERVAL
- 302' 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- STOCKADE FENCE
- CULVERT
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC DISSAFE
- UNDERGROUND GAS LINE
- WATER LINE
- ZONING DISTRICT BOUNDARY LINE

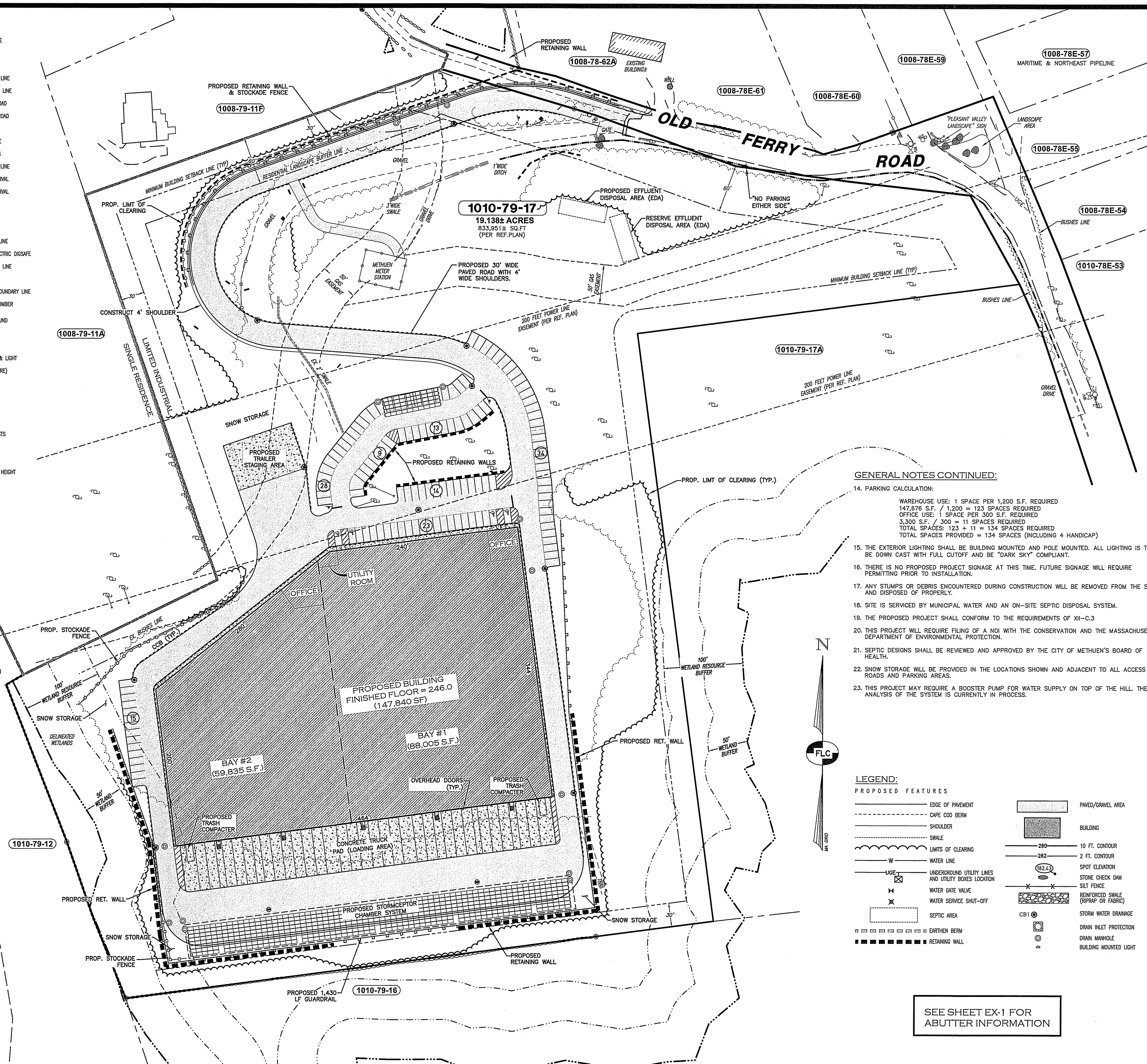
1010-79-17 TAX MAP & LOT NUMBER

- GRANITE BOUND FOUND
- DRILL HOLE FOUND
- IRON PIN FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- SIGN WITH TWO POSTS
- RIP RAP
- ROCK
- BOLLARD 8" DIA 3' HEIGHT

1008-79-11A ROBERT HAYKAL

1008-79-11B CITY OF METHUEN

1008-79-11C CARRIE A LAVALLEE



GENERAL NOTES CONTINUED:

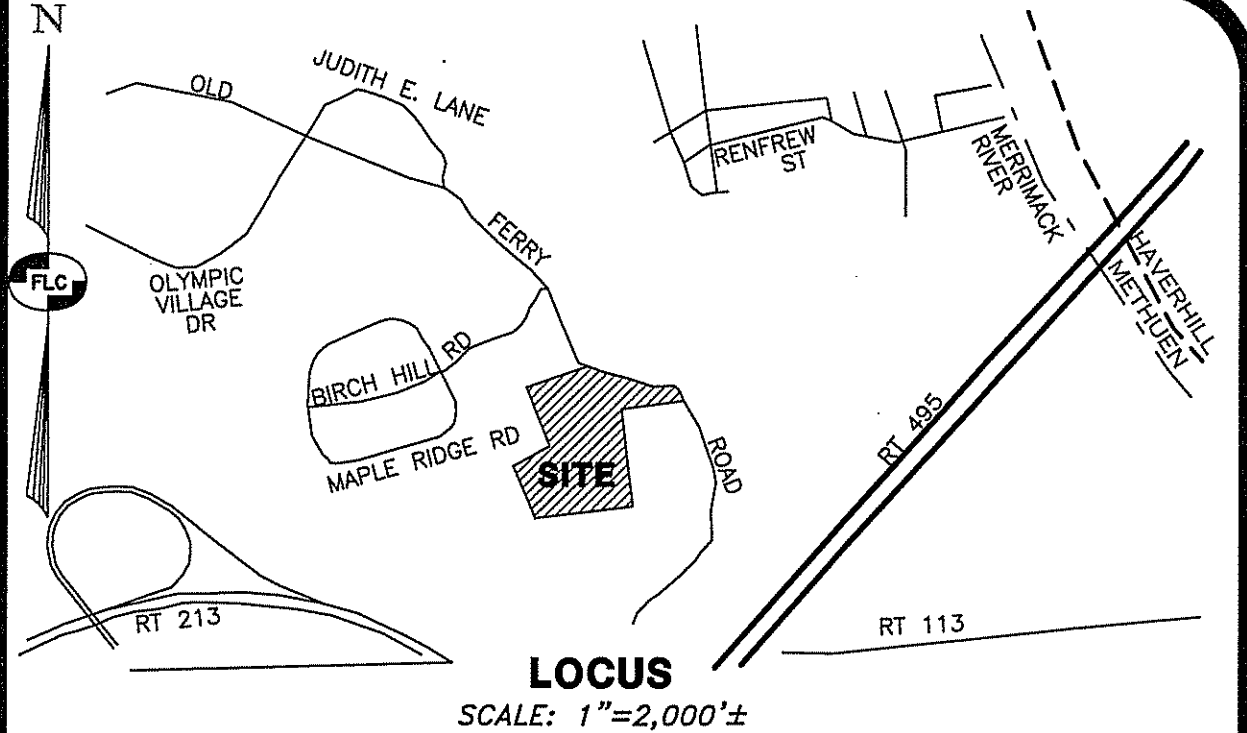
14. PARKING CALCULATION:
WAREHOUSE USE: 1 SPACE PER 1,200 S.F. REQUIRED
147,840 S.F. / 1,200 = 123 SPACES REQUIRED
OFFICE USE: 1 SPACE PER 300 S.F. REQUIRED
3,300 S.F. / 300 = 11 SPACES REQUIRED
TOTAL SPACES: 123 + 11 = 134 SPACES REQUIRED
TOTAL SPACES PROVIDED = 134 SPACES (INCLUDING 4 HANDICAP)
15. THE EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED AND POLE MOUNTED. ALL LIGHTING IS TO BE DOWN CAST WITH FULL CUTOFF AND BE "DARK SKY" COMPLIANT.
16. THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. FUTURE SIGNAGE WILL REQUIRE PERMITTING PRIOR TO INSTALLATION.
17. ANY STUMPS OR DEBRIS ENCOUNTERED DURING CONSTRUCTION WILL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
18. SITE IS SERVICED BY MUNICIPAL WATER AND AN ON-SITE SEPTIC DISPOSAL SYSTEM.
19. THE PROPOSED PROJECT SHALL CONFORM TO THE REQUIREMENTS OF XII-C.3
20. THIS PROJECT WILL REQUIRE FILING OF A NOI WITH THE CONSERVATION AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
21. SEPTIC DESIGNS SHALL BE REVIEWED AND APPROVED BY THE CITY OF METHUEN'S BOARD OF HEALTH.
22. SNOW STORAGE WILL BE PROVIDED IN THE LOCATIONS SHOWN AND ADJACENT TO ALL ACCESS ROADS AND PARKING AREAS.
23. THIS PROJECT MAY REQUIRE A BOOSTER PUMP FOR WATER SUPPLY ON TOP OF THE HILL. THE ANALYSIS OF THE SYSTEM IS CURRENTLY IN PROCESS.

LEGEND:

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CAPE COD BERM
- SHOULDER
- SWALE
- LIMITS OF CLEARING
- WATER LINE
- UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- SEPTIC AREA
- EARTHEN BERM
- RETAINING WALL
- PAVED/GRAVEL AREA
- BUILDING
- 10 FT. CONTOUR
- 2 FT. CONTOUR
- SPOT ELEVATION
- STONE CHECK DAM
- SILT FENCE
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- STORM WATER DRAINAGE
- DRAIN INLET PROTECTION
- DRAIN MANHOLE
- BUILDING MOUNTED LIGHT

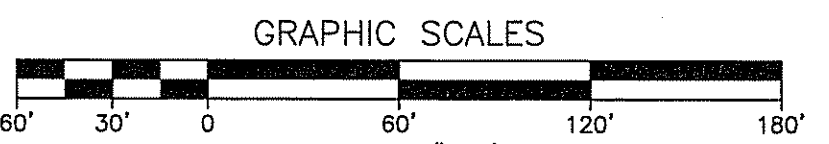
SEE SHEET EX-1 FOR ABUTTER INFORMATION



GENERAL NOTES:

1. THE OWNER OF RECORD FOR TAX MAP 1010 LOT 79-17 IS TRIPLE G LLC, 59 BONANNO COURT, METHUEN MA 01844. THE DEED REFERENCE FOR THE LOT IS BK.16544 PG.73 DATED OCTOBER 14, 2020.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT A 150,976 S.F. WAREHOUSE AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP 1010 LOT 79-17 AS SHOWN.
3. THE TOTAL AREA OF TAX MAP 1010 LOT 79-17 IS 19.138± ACRES OR 833,651 SQ.FT PER REFERENCE PLAN.
4. ZONING FOR THE ENTIRE LOT IS "LI" INDUSTRIAL LIMITED DISTRICT. LOT REQUIREMENTS INCLUDE:

LI ZONE: LIGHT INDUSTRIAL	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	40,000 SF	833,651 SF	833,651 SF
MIN LOT WIDTH	100 FT	567± FT	567± FT
MIN LOT FRONTAGE	100 FT	820.03 FT	820.03 FT
MIN FRONT SETBACK	60 FT	N/A	526.27 FT
MIN SIDE SETBACK	30 FT	N/A	47.73 FT
MIN REAR SETBACK	30 FT	N/A	162.65 FT
MAX. BUILDING HEIGHT	45 FT	N/A	39± FT
MAX. STORIES	4 ST	N/A	1 ST
MAX. LOT COVERAGE	35%	11 %	34.1%
OPEN SPACE	NONE	— %	— %
5. THE WETLAND CONSERVATION DISTRICT OVERLAY REQUIRES A 50 FEET BUFFER.
6. THE LOT LIES OUTSIDE THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP (FIRM), ESSEX COUNTY, MASSACHUSETTS, CITY OF METHUEN, COMMUNITY NO. 250093 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 25009C0089F DATED JULY 3, 2012.
7. THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLAN CITED HEREON AND IS NOT A RESULT OF A BOUNDARY SURVEY BY THIS OFFICE. THE LOT IS SUBJECT TO THE FOLLOWING: AN EASEMENT TO NEW ENGLAND POWER COMPANY (SEE BK.713 PG.54 - 6/16/1948), A RIGHT OF WAY AGREEMENT EASEMENT TO PORTLAND NATURAL GAS TRANSMISSION SYSTEM AND MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.5502 PG.229 - 7/19/1999 AND A RIGHT OF WAY EASEMENT TO MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.8324 PG.26 - 10/7/2003).
8. THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF A PARTIAL ON-SITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF JANUARY, 2020.
9. THE UNDERGROUND UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
10. HORIZONTAL ORIENTATION IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM DEVELOPED FROM THE N.G.A.A. ONLINE POSITIONING USER SERVICE (OPUS) WHICH UTILIZES THE HIGH ACCURACY NATIONAL SPATIAL REFERENCE (NSRS). VERTICAL DATUM IS NVD8-88 PER OPUS OBSERVATION ON 01/27/2020.
11. JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE IN DECEMBER, 2019.
12. RIGHT OF WAY OF OLD FERRY ROAD IS PER REFERENCE PLAN CITED HEREON.
13. THE UNDERGROUND WATER LINE SHOWN IS APPROXIMATE AND SHALL BE VERIFIED PRIOR ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. THE PIPE AT THE SUBJECT LOCATION IS A 8" DIAMETER DUCTILE IRON CLASS 52 PER THE CITY OF METHUEN.



REV.	DATE	DESCRIPTION	C/O	CLR	CEB
A	6/1/22	REVISED PER CITY COMMENTS			

OVERALL SITE LAYOUT PLAN

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:
TRIPLE G, LLC

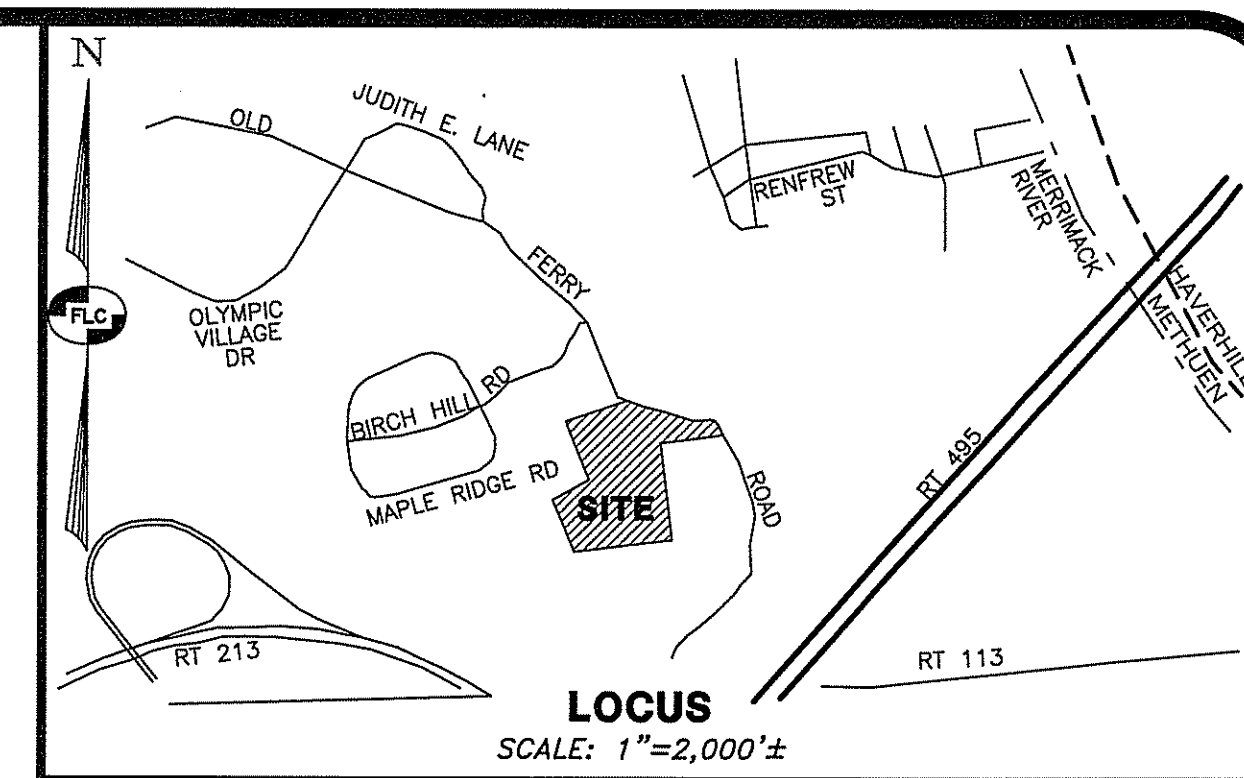
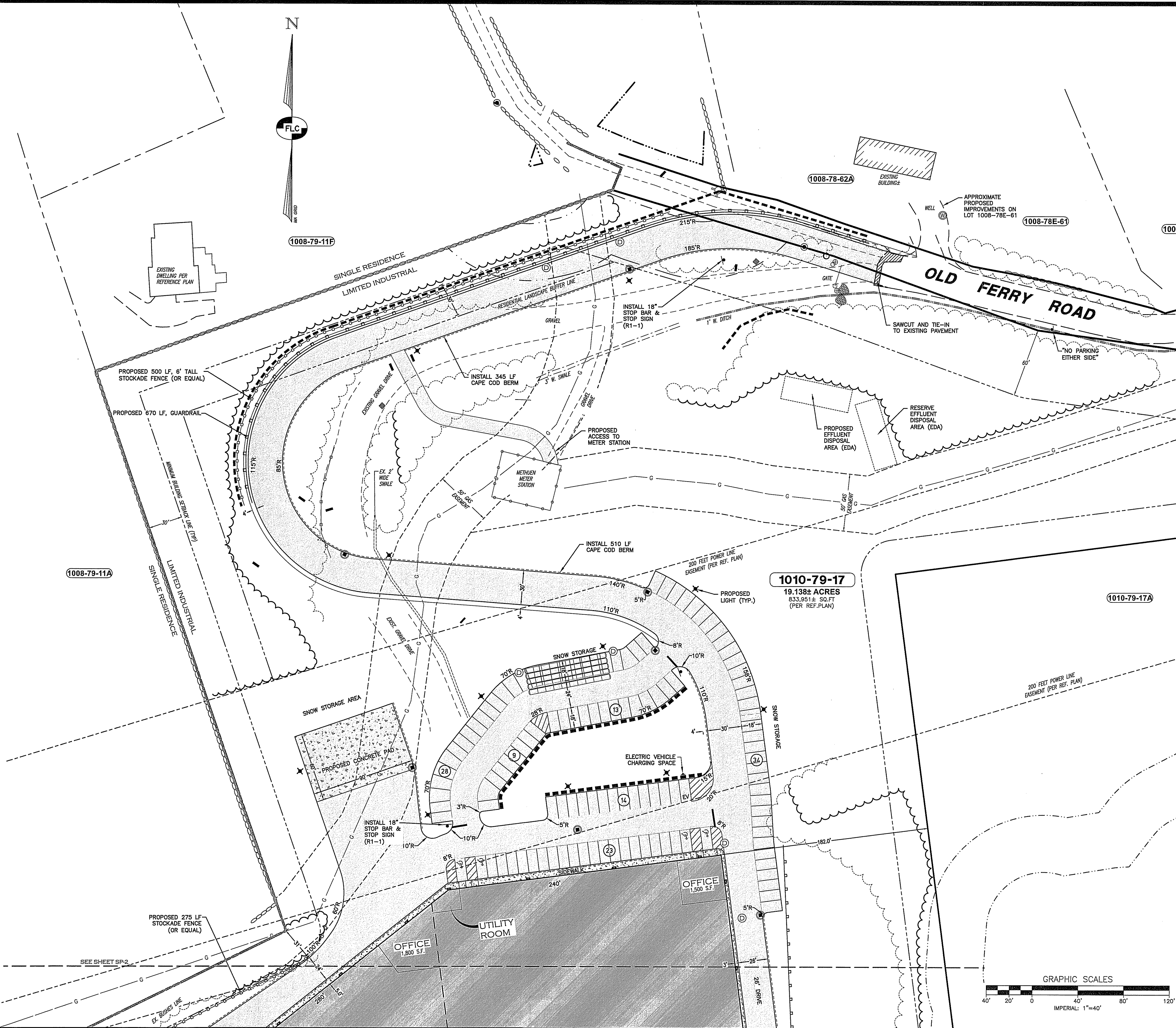
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 60' APRIL 4, 2022

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Phone: (603) 672-5456 Fax: (603) 413-5456
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LEGEND:

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- CHAIN-LINK FENCE
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- CULVERT
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC DISSAFE
- UNDERGROUND GAS LINE
- WATER LINE

PROPOSED FEATURES

- EDGE OF PAVEMENT
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- WATER SERVICE
- PRIMARY SEPTIC AREA
- RESERVE SEPTIC AREA
- EARTHEN BERM
- RETAINING WALL
- LIMITS OF CLEARING

SYMBOLS

- G.B.(F) GRANITE BOUND FOUND
- D.H.(F) DRILL HOLE FOUND
- I.P.W.(F) IRON PIN FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- WATER HYDRANT
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- SIGN WITH TWO POSTS
- RIP RAP
- ROCK
- BOLLARD 6" DIA 3' HEIGHT
- TEST PIT NUMBER
- EDGE
- SEASONAL HIGH WATER

1010-79-17 TAX MAP & LOT NUMBER

1010-79-17 19.138± ACRES
833,951± SQ. FT.
(PER REF. PLAN)

SITE LAYOUT PLAN NORTH

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:
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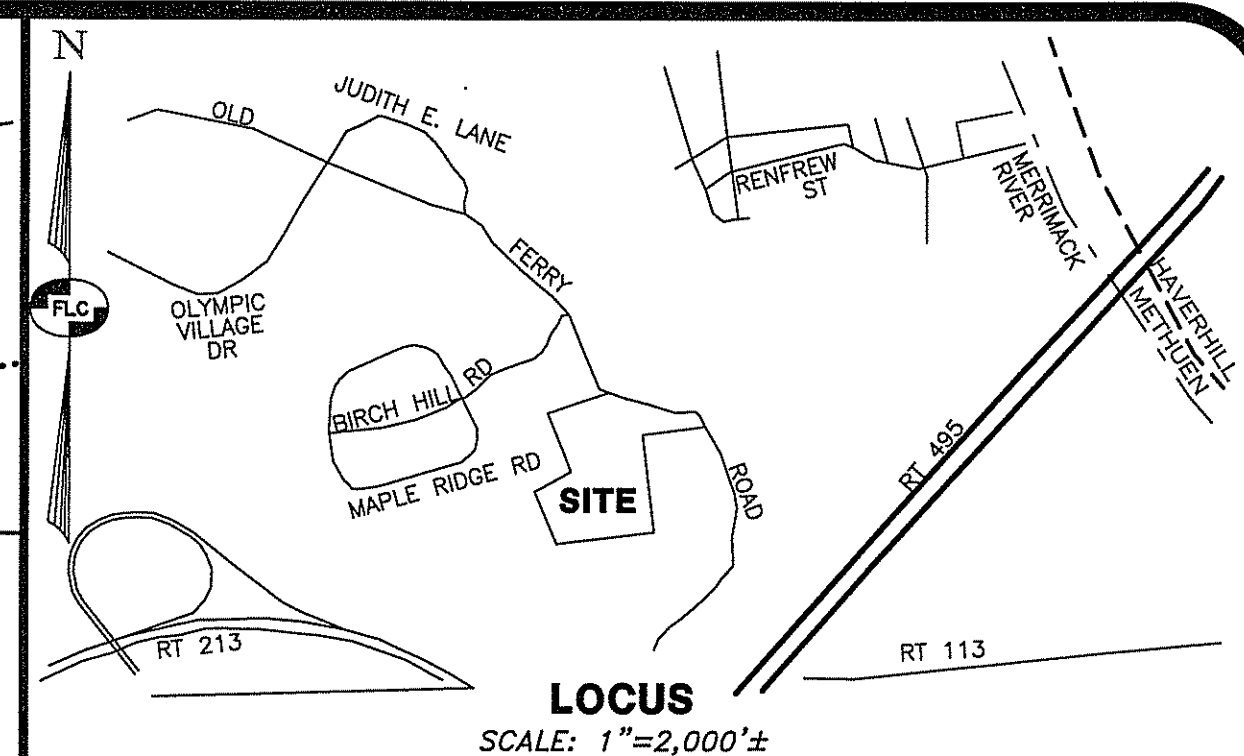
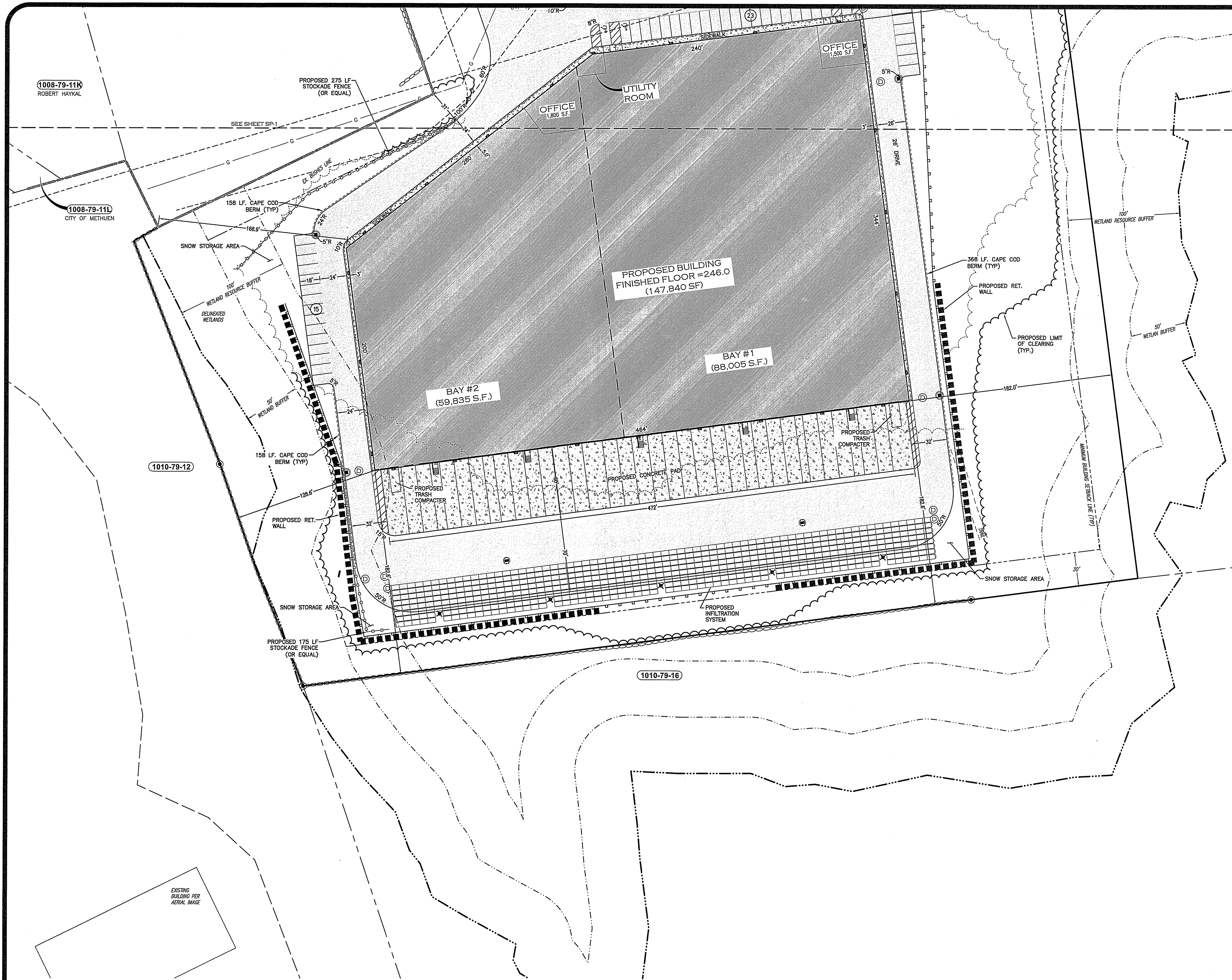
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FILE: 2295SP01A.dwg PROJ. NO. 2295.01 SHEET: SP-1 PAGE NO. 3 OF 29



LEGEND:

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PROPOSED FEATURES

- EDGE OF PAVEMENT
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- WATER SERVICE
- PRIMARY SEPTIC AREA
- RESERVE SEPTIC AREA
- EARTHEN BERM
- RETAINING WALL
- LIMITS OF CLEARING

LOCUS
SCALE: 1"=2,000'±

1010-79-17 TAX MAP & LOT NUMBER

GRAPHIC SCALES
IMPERIAL: 1"=40'

LEGEND:

- GRANITE BOUND FOUND
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- ROCK
- BOLLARD 6" DIA 3' HEIGHT
- TEST PIT NUMBER
- LEDGE
- SEASONAL HIGH WATER

LEGEND:

- SILT SACK
- CATCH BASIN
- PAVED/GRAVEL AREA
- BUILDING
- SPOT GRADE

REV.	DATE	DESCRIPTION	C/O	CLR	CEB
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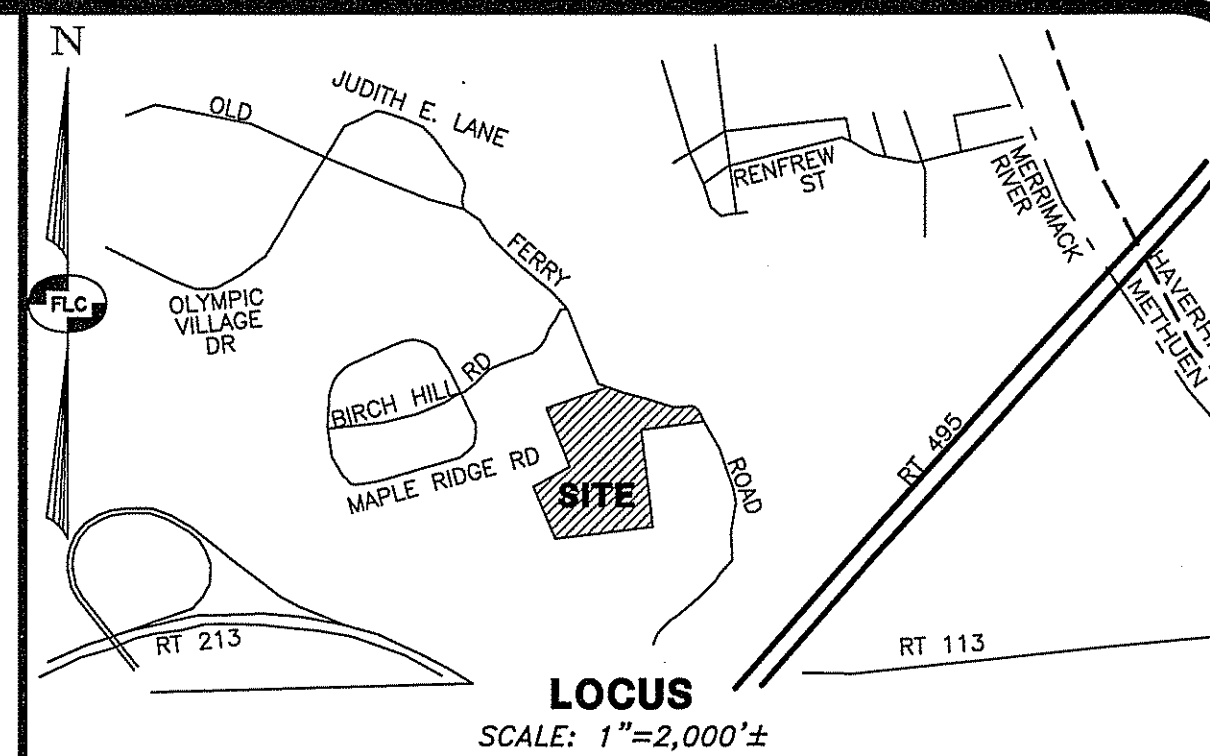
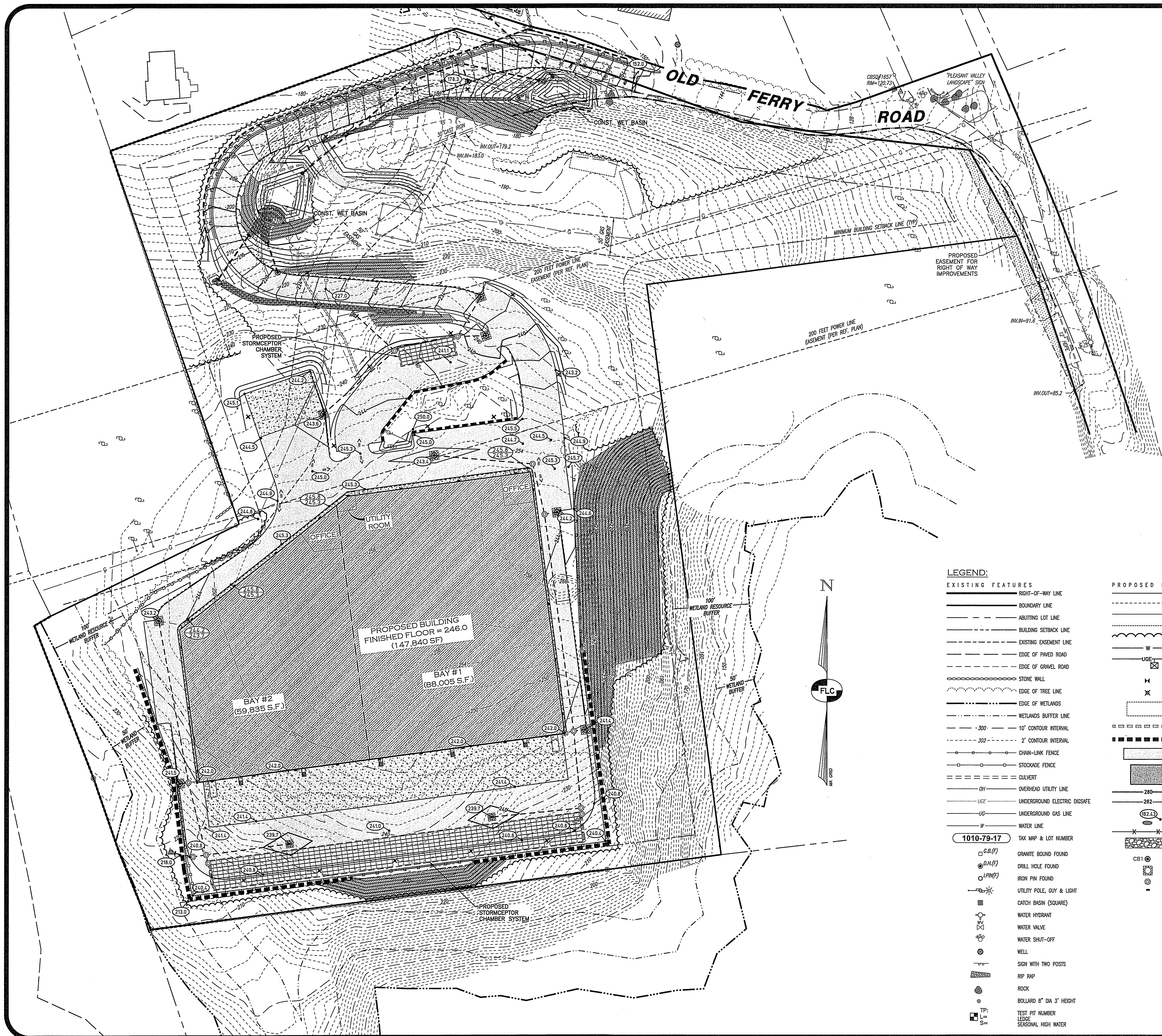
SITE LAYOUT PLAN SOUTH
PIE HILL
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(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS
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- NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF METHUEN AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE MASSDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO ANY/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DISSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF METHUEN FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO LIBERTY UTILITIES STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO VERIZON SPECIFICATIONS.
 12. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 13. PORTIONS OF THE EXISTING DRIVEWAY NOT IMPACTED SHALL BE LOAMED AND SEEDED. ASSOCIATED IMPROVEMENTS TO THE EXISTING DRIVEWAY SHALL ALSO BE REMOVED SUCH AS BUT NOT LIMITED TO THE GATE, CULVERTS, ETC.. ANY QUESTIONS SHALL BE DIRECTED TO THE PROJECT ENGINEER.

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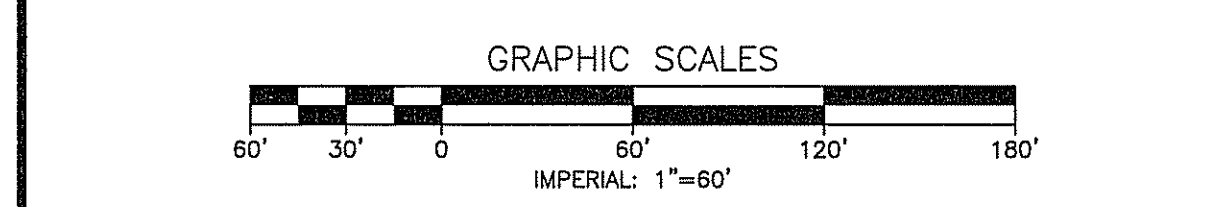
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1010-79-17

TAX MAP & LOT NUMBER

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REV.	DATE	DESCRIPTION	C/O	DR	CK
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MASTER GRADING & DRAINAGE PLAN

PIE HILL

WAREHOUSING

TAX MAP 1010 LOT 79-17

(46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:

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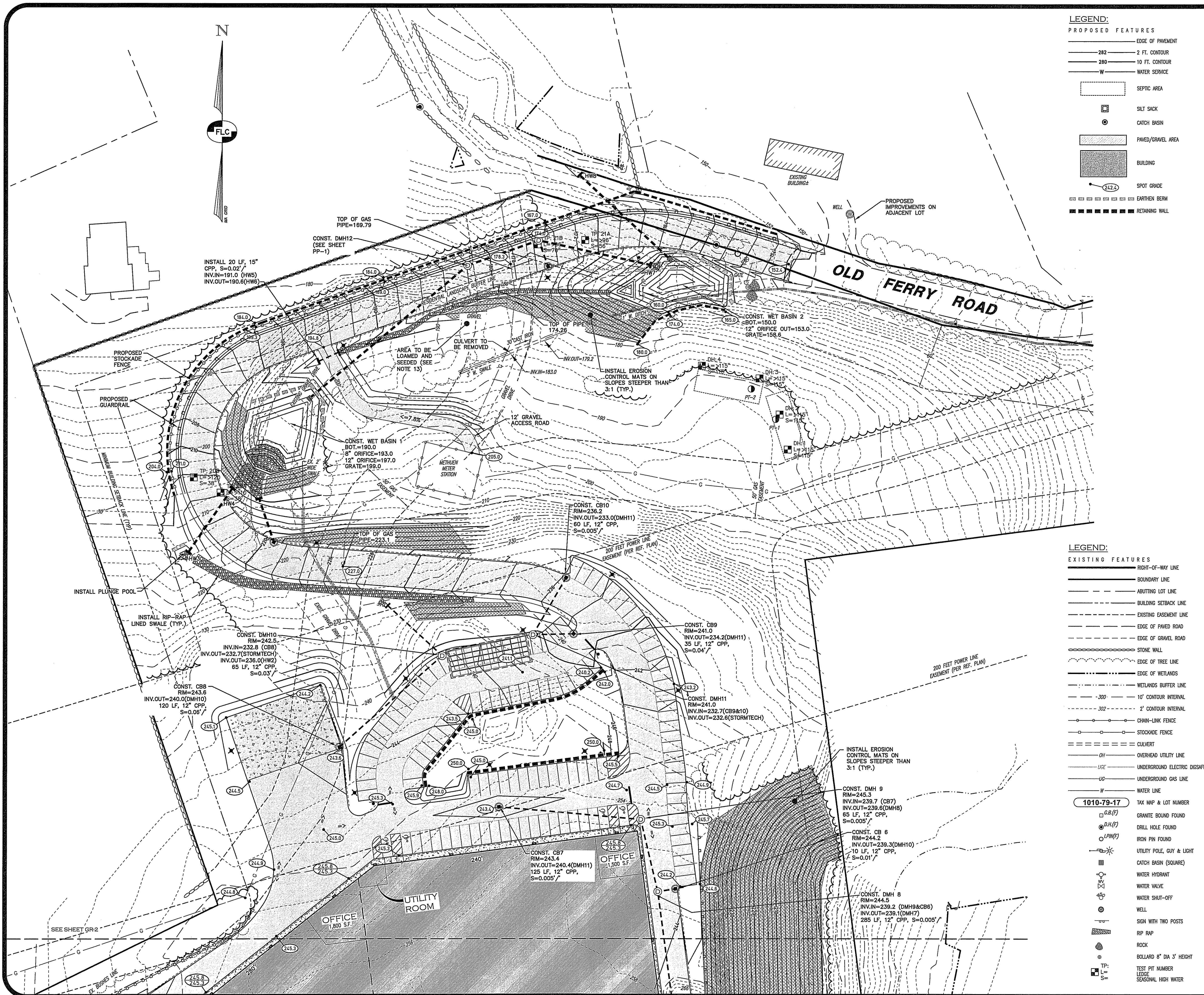
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FIELDSTONE

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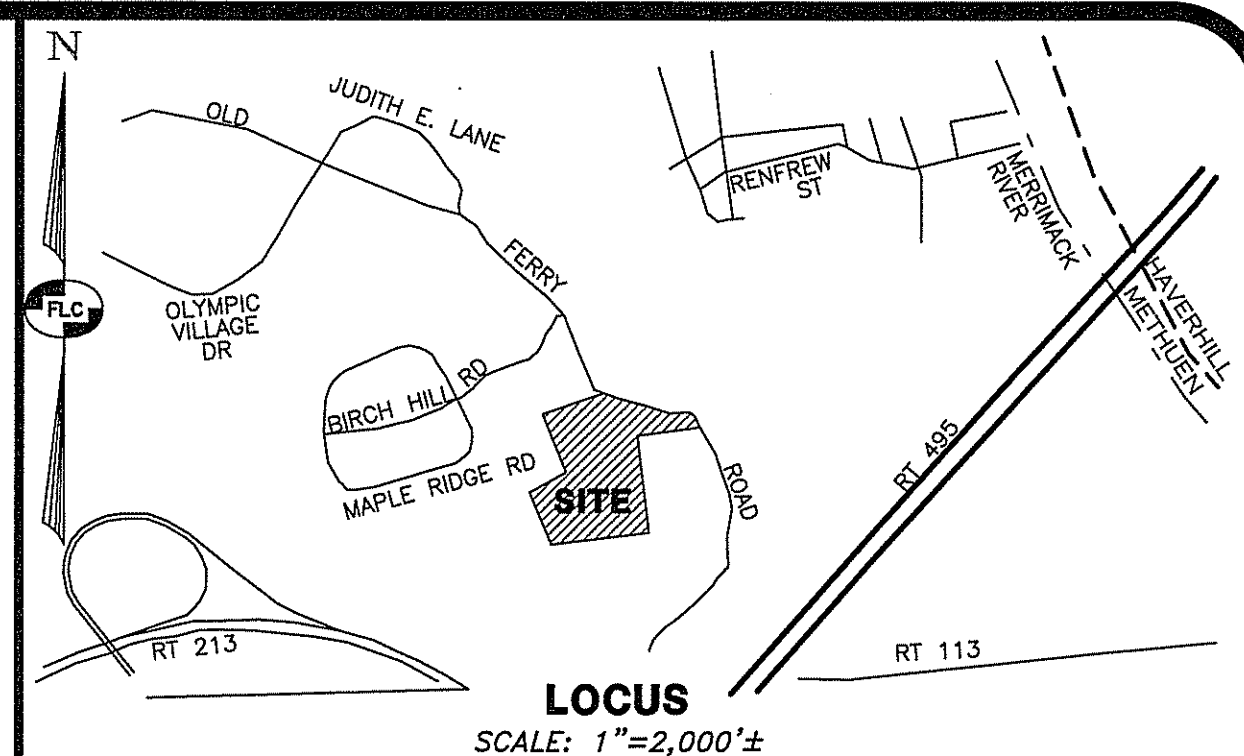
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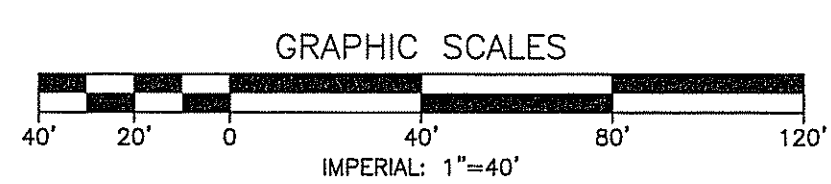


- LEGEND:**
PROPOSED FEATURES
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 - 282 2 FT. CONTOUR
 - 280 10 FT. CONTOUR
 - W WATER SERVICE
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GRADING & DRAINAGE PLAN NORTH

**PIE HILL
WAREHOUSING**

**TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)**

METHUEN, MASSACHUSETTS

**PREPARED FOR AND LAND OF:
TRIPLE G, LLC**

59 BONANNO COURT, METHUEN, MA 01844

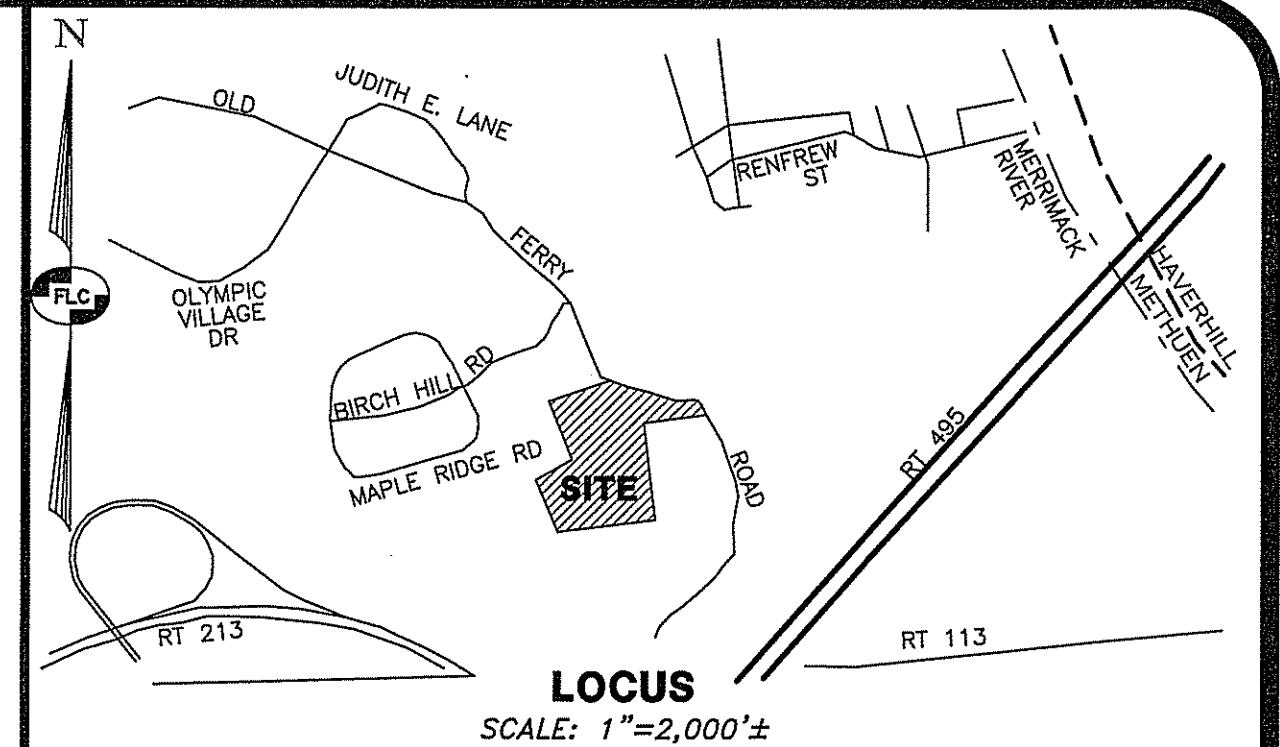
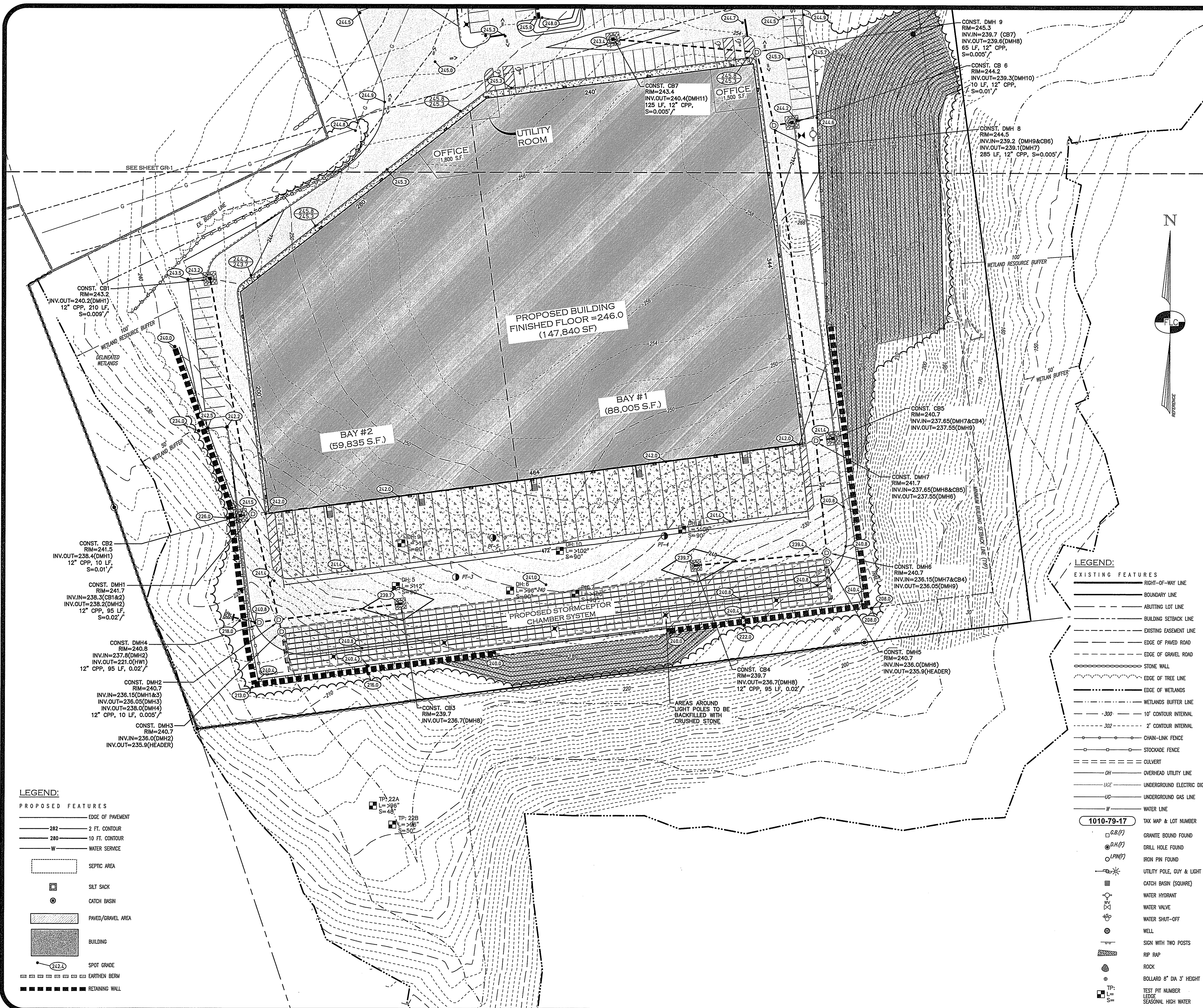
SCALE: 1" = 40' APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

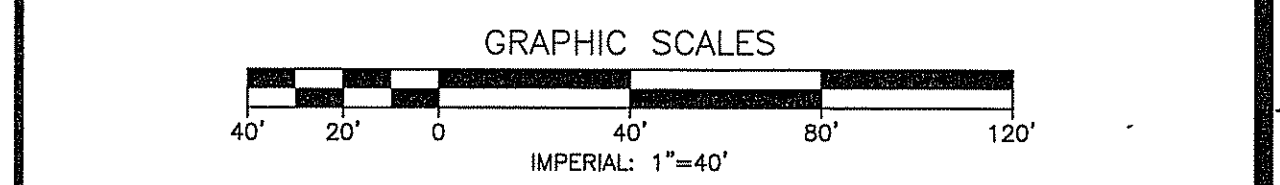
**FIELDSTONE
LAND CONSULTANTS, PLLC**

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

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- NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF METHUEN AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS THE TOWN OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE MASSDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF METHUEN FIRE DEPARTMENT REGULATIONS
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO LIBERTY UTILITIES STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO VERIZON SPECIFICATIONS.
 12. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.



REV.	DATE	DESCRIPTION	C/O	CLR	CEB
A	6/1/22	REVISED PER CITY COMMENTS			

GRADING & DRAINAGE PLAN SOUTH

PIE HILL

WAREHOUSING

TAX MAP 1010 LOT 79-17

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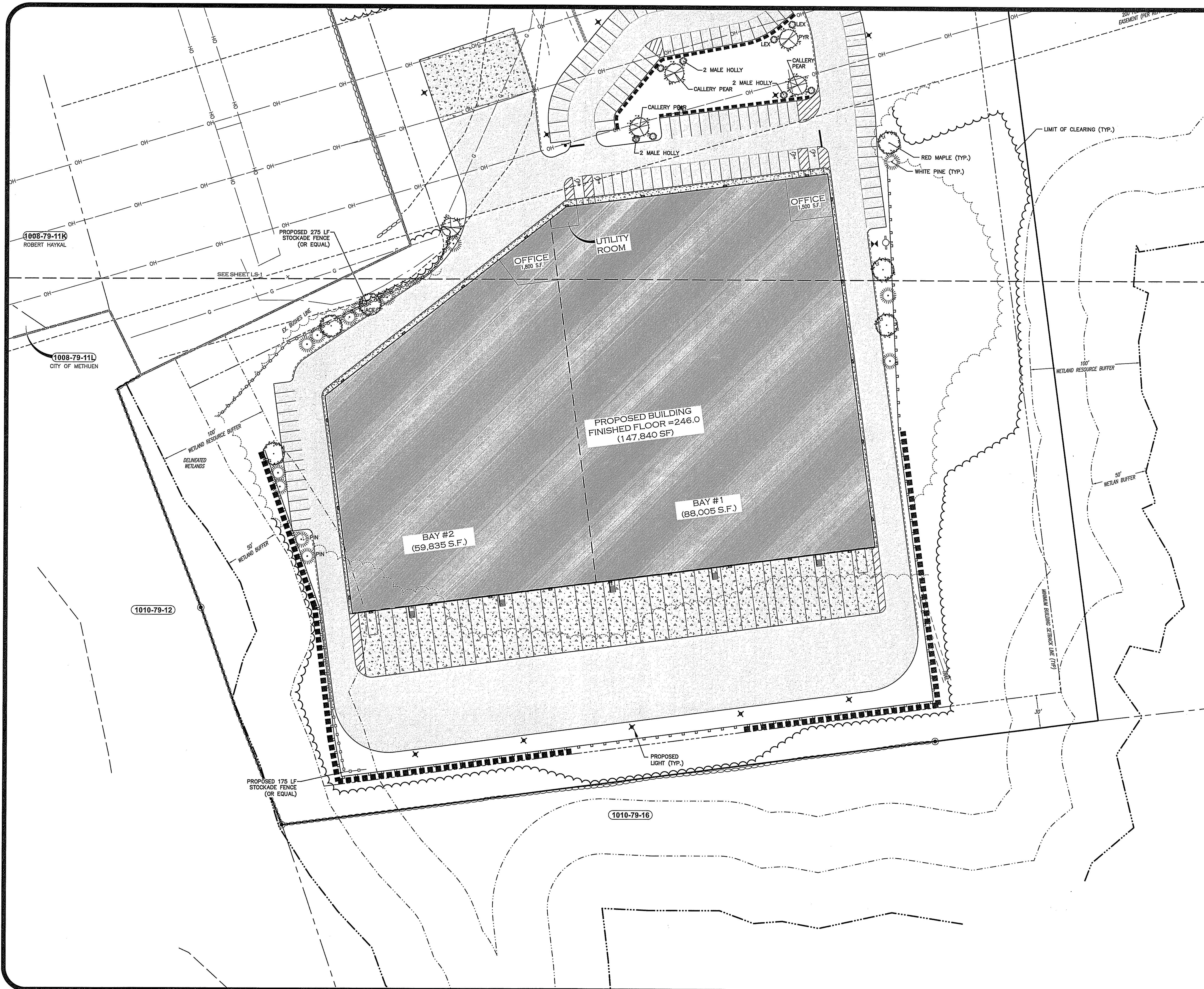
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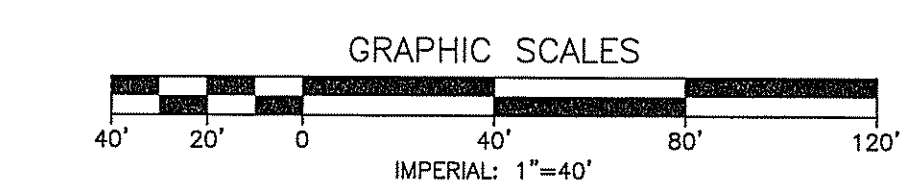
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PLANT SYMBOLS		PLANT LIST	QTY.
	PIN	PINUS STROBUS (WHITE PINE) (OR EQUAL)	(44) 5'-6"
	ACE	ACER PLATANOIDES (CRIMSON KING MAPLE) (OR EQUAL)	(9) 2.5"-3" CAL.
	PYR	PYRUS CALLERYANA (CALLERY PEAR) (OR EQUAL)	(4) 2.5'-3"
	JUN	JUNIPERUS CHINENSIS (GREY OWL JUNIPER) (OR EQUAL)	(12) 3 GAL.
	ILEX	ILEX MESURURAE 'BLUE PRINCE' (MALE HOLLY) (OR EQUAL)	(17) 2.5'-3"
	COR	CORNUS SANGUINEA (WINTER FLAME DOGWOOD) (OR EQUAL)	(4) 3 GAL. 2'-3"

- LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIS-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "MSQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE. MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
 - ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS.
 - ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 - PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
 - A 15' LANDSCAPE BUFFER (MINIMUM) SHALL REMAIN ADJACENT TO THE RIGHT OF WAY LINE AND A 60' BUFFER SHALL REMAIN ALONG PROPERTY LINES SHARED WITH RESIDENTIAL LOTS.
 - LANDSCAPING CALCULATIONS:
INTERIOR PARKING AREA = 62,334 SF
REQUIRED INTERIOR LANDSCAPING = 5% X 62,334 SF = 3,116.7 SF
PROPOSED INTERIOR LANDSCAPING = 7,500 SF
REQUIRED TREES = 1 TREE / 2,000 SF OF PARKING X 62,334 = 31.2 TREES
PROPOSED PARKING AREA TREES = 32 TREES
THERE ARE NO PROPOSED RECREATION AREAS AT THIS TIME.
 - A LANDSCAPED SCREEN WILL BE PLANTED WHERE THE INDUSTRIAL ZONED PARCEL ABUTS RESIDENTIAL PROPERTIES. THE VERTICAL SCREEN WILL NOT BE LESS THAN 4' IN WIDTH AND 5' HIGH AT THE TIME OF PLANTING. PLANTINGS WILL BE SPACED NO MORE THAN 10' ON CENTER AND CONTAIN A MINIMUM OF 50% EVERGREENS.



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