

**CITY OF METHUEN**  
**METHUEN HISTORIC DISTRICT COMMISSION**  
SEARLES BUILDING, SUITE 217  
41 PLEASANT STREET  
METHUEN, MA 01844  
(978) 983-8560 / Fax (978) 983-8976

**APPLICATION FOR CERTIFICATE**

Please refer to the official Historic District Commission meeting schedule for meeting dates (typically held the fourth Thursday of the month) and their associated submission deadlines.

Please submit the following, to the Department of Economic and Community Development, 41 Pleasant Street, Suite 217 by the appropriate submission deadline:

- A **\$25.00 application fee** in the form of a check payable to "City of Methuen"
- **One original and ten (10) copies—ELEVEN (11) TOTAL** of:
  - The completed application.
  - Secured to each copy of the application: Photographs, material and color samples, manufacturer's illustrations, plans and elevations, shop drawings, site or plot plan, and any other applicable exhibits needed to best inform Commissioners of your proposed actions.

**Sign applications** must include dimensions, accurate color samples (paint chips), materials, location, method of display, an image of the proposed sign at an appropriate scale in its proposed location, and an image of any existing signs. Note whether the sign is new or replaces an existing sign.

**Applications will not be accepted if incomplete, missing copies, or with unpaid fees.**

- If your application requires a public hearing (please inquire at the Department of Economic and Community Development), your application must also include:
  - A certified Historic District Commission abutter's list, obtained from the Assessor's office in Suite 103, 978-983-8530 (**\$35.00** to City of Methuen).
  - Self-address, stamped envelopes, for each of the abutters and the applicant. If the City of Methuen, 41 Pleasant Street is listed as an abutter, no stamp is required on the addressed envelope. **DO NOT INCLUDE A RETURN ADDRESS.**

Applicants, or their representatives, are expected to be present at the meeting during which their application is discussed. Otherwise, the application is subject to removal from the agenda. Application decisions may require more than one meeting.

If any change in use of occupancy or location, or increase in square footage, height, or enclosed space (including garages) is proposed, certification that a **ZONING VARIANCE** has been issued by the Methuen Zoning Board of Appeals is required. The Commission will NOT hold a hearing on the Application before that certification is issued.

Name of Applicant/Contact: Ashley Nguyen

Site Location of Application: 36 Hampshire St. Methuen MA 01844

Business Name (or N/A): N/A

Applicant Mailing Address: 13 Chesley Rd.

City, State, Zip: Quincy MA 02161

Telephone/Fax #'s: 837 233 2106 /

E-mail: ashleynguyenka@gmail.com

Check type of Certificate applying for:

**CERTIFICATE OF APPROPRIATENESS** for work described and exhibits filed.

**CERTIFICATE OF NON-APPLICABILITY** for the following reason(s):

- Not visible from public street, way, place or body of water
- Reconstruction similar to original following fire or other disaster
- Maintenance, repair, or replacement, using same design, materials, colors
- No architectural features involved
- Proposed work complies with guidelines
- Other

**CERTIFICATE OF HARDSHIP**, financial or otherwise described herein and not a substantial derogation from intent and purposes of law.

**DESCRIPTION OF PROPOSED WORK.** Proposed project and current site conditions:

- Demolition of existing storefront windows, rear foyer, and non-bearing partition wall on the second floor (residential)
- Reconstruction of storefront windows,
- Installation of new storefront doors as well as side egress door.
- Installation of new vinyl double hung windows
- Installation of new vinyl cap siding, aluminum gutter with leaf guards, painting of all window trims and door trims (white).
- Interior carpentry, plumbing, electrical, etc. as described in contract attached.

Proposed Start Date: ASAP Proposed Completion Date: ASAP

Name of Contractor: Kimber Nguyen

Contact Person: Ashley Nguyen

Address: 13 Chesley Rd.

City, State, Zip: Quincy MA 02169

License #: CS-111100

Telephone/Fax #'s: 617 438 1196

E-mail: kenmnh194@yahoo.com

Name of Architect: weihua Dong  
Contact Person: weihua Dong  
Address: 246 walnut st.  
City, State, Zip: Lynnfield MA 01940  
Mass. Reg. #: 51126  
Telephone/Fax #s: 857 544 6477 /  
E-mail: Dong.engineering@gmail.com

#### DOCUMENTATION ATTACHED:

- Photographs
- Materials and/or Color Samples
- Manufacturer's Illustration
- Plans and Elevations
- Shop Drawing(s)
- Site or Plot Plan
- Abutters List
- Stamped envelopes, pre-addressed to abutters
- Other

Contract

**Failure to submit the appropriate materials, substantial information, and/or application fee will result in rejection of this application as incomplete.**

#### CERTIFICATION:

The applicant hereby certifies that this application is complete and accurate, to the best of his/her knowledge, and that no material misrepresentation is made herein.

Applicant(s):

Ceng Nguyen  
Signature(s)

11/01/24  
Date

Contractor:

Kuan N  
Signature

11/01/24  
Date

**Top to Bottom Corporation**

161 Wilson Ave

Quincy, MA 02170

(857) 526-5660

Email: jin9959857@yahoo.com

The contract between Zhen Feng Li of 60 Twelfth Avenue, North Chelmsford, MA 01863 and Jin Hui Jiang of Top to Bottom Corporation at 161 Wilson Avenue, Quincy, MA 02170 and Khanh Nguyen of Mass Home Construction Inc. as Construction Supervisor.

Property Address: 36 Hampshire Street, Methuen, MA (Mixed-Use Renovation)

RE: Interior Renovation for mixed use commercial and residential

The scope of Work/Job Descriptions:

Demolition:

1. Demolition and clean up of construction debris, including dumpsters.
2. Demolition of existing walk-in cooler on ground floor
3. Demolition of existing storefront windows
4. Demolition of the rear foyer, and to be reconstructed
5. Demolition of non bearing partition wall on the second floor residential floor

Carpentry:

1. Interior framing alterations with structural bearing walls and re-configuration of interior layout as per architectural plans. New framing of the rear foyer.
2. New construction of the deck and stair at the rear of the property as shown on plan.
3. Form and pour new foundation as shown on plan; For the new deck only
4. Remodel new full bathrooms as shown on plan on second floor, and two new full bathrooms on the second floor, Furnish and install bathroom fixtures, such as toilet and shower fixtures, exclusion of free-standing tub, and sink vanity and fixtures. (To be provided by owner)
5. Construct all room and framings as shown on drawings for complete project
6. Furnish and install full wall tiles at the shower, new tile flooring finish. (Contractor to furnish all tiles, \$3/sf for allowance)
7. Furnish and install countertop finish. (Contractor to furnish, \$45/sf for allowance)
8. Painting of all interior walls, including paint on all doors and windows trims; Painting on all interior trims on new addition, using Home Depot Brand.
9. Furnish and install all locksets in all rooms at the new addition. All material to be purchase from Home Depot.
10. Furnish and installation of masonite interior doors with door trims. All materials to be purchased from Home Depot.
11. Furnish and Installation of new vinyl double-hung windows, insulated double-pane window. All glasses to be tempered glass at all new bathrooms.
12. Furnish and install new Certainteed MainStreet vinyl lap siding; Choice of color to be by owner, exclusion of replacement windows on the first floor
13. Furnish and install a new aluminum gutter with vinyl leaf guards and downspout for the entire home.

14. Furnish and install batt insulation throughout the home as required by code on exposed exterior walls.

Plumbing:

1. Installation of new bathroom fixtures (Toilet, Shower/tub, and hand sink) in all bathrooms.
2. All plumbing sources use PVC and plastic piping to meet code requirements.
3. No work in existing kitchen plumbing.
4. Installation of all kitchen plumbing
5. Replacement or upgrade of existing sewer is NOT in the contract.

Electrical:

1. Installation of bathroom exhaust fans, GFI outlets and interior lights on all levels.
2. Installation of new outlet in the addition living room area
3. Furnish and install new wiring on the affected area only. On commercial floor and 2nd floor residential only.
4. Furnish and install one ceiling mounted light in each room
5. Installation of recessed lights for the living and dining room in the second floor.

General Notes:

1. Any work that is not mentioned herein contract but required per building inspector will incur additional cost before the scope of this contract.
2. City's progress Inspection, permit fees cost included in the estimate
3. Construction timeframe is approx. 7 months from the issuance of building permit.
4. Any changes on the above scope of work and or quality, additional charges will incur.
5. For permitting purpose only.

We Estimate, to furnish labor, all materials to be provided by the contractor in complete accordance with the above specifications.

**Total Cost: \$150,000**  
One Hundred and Fifty Thousand Dollars

Payment Schedule:

1. <b><u>Initial Payment</u></b> at contract agreement: (10%) of the total contract.	<b><u>(\$15,000.00)</u></b>
2. <b><u>Second Payment</u></b> at the start of project: (20%)	<b><u>(\$30,000.00)</u></b>
3. <b><u>Third Payment</u></b> at the completion home framing: (15%) of total contract	<b><u>(\$22,500.00)</u></b>
4. <b><u>Fourth Payment</u></b> at completion of electrical rough inspection: (12.50%) of total contract.	<b><u>(\$18,750.00)</u></b>
5. <b><u>Fifth Payment</u></b> at completion of plumbing rough inspection: (12.50%) of the total contract.	<b><u>(\$18,750.00)</u></b>
6. <b><u>Sixth Payment</u></b> at completion of insulation and drywall: (15%) of the total contract	<b><u>(\$22,500.00)</u></b>
7. <b><u>Seventh Payment</u></b> at the completion of interior finish works before final inspection (12.5%) of the total contract.	<b><u>(\$18,750.00)</u></b>

8. **Final payment** at the completion of the final inspection (2.5%) and the balance of the contract.

(\$3,750.00)

**Acceptance of Estimate:** The above prices and specifications are satisfactory and are hereby accepted.

Contractor:



Jin Hui Jiang

Client:

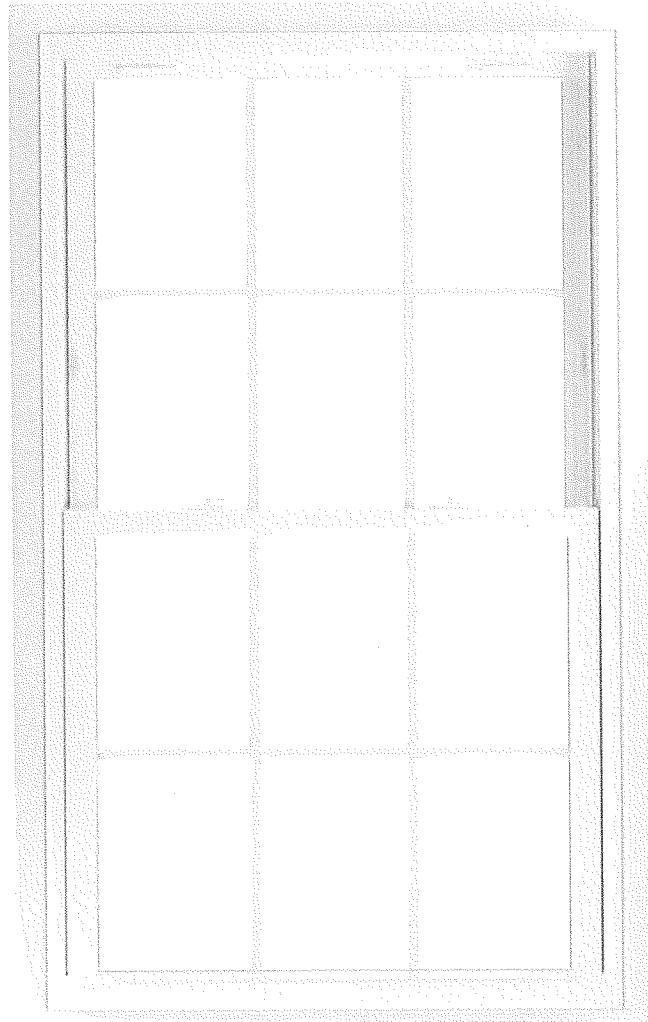


Zhen Feng Li

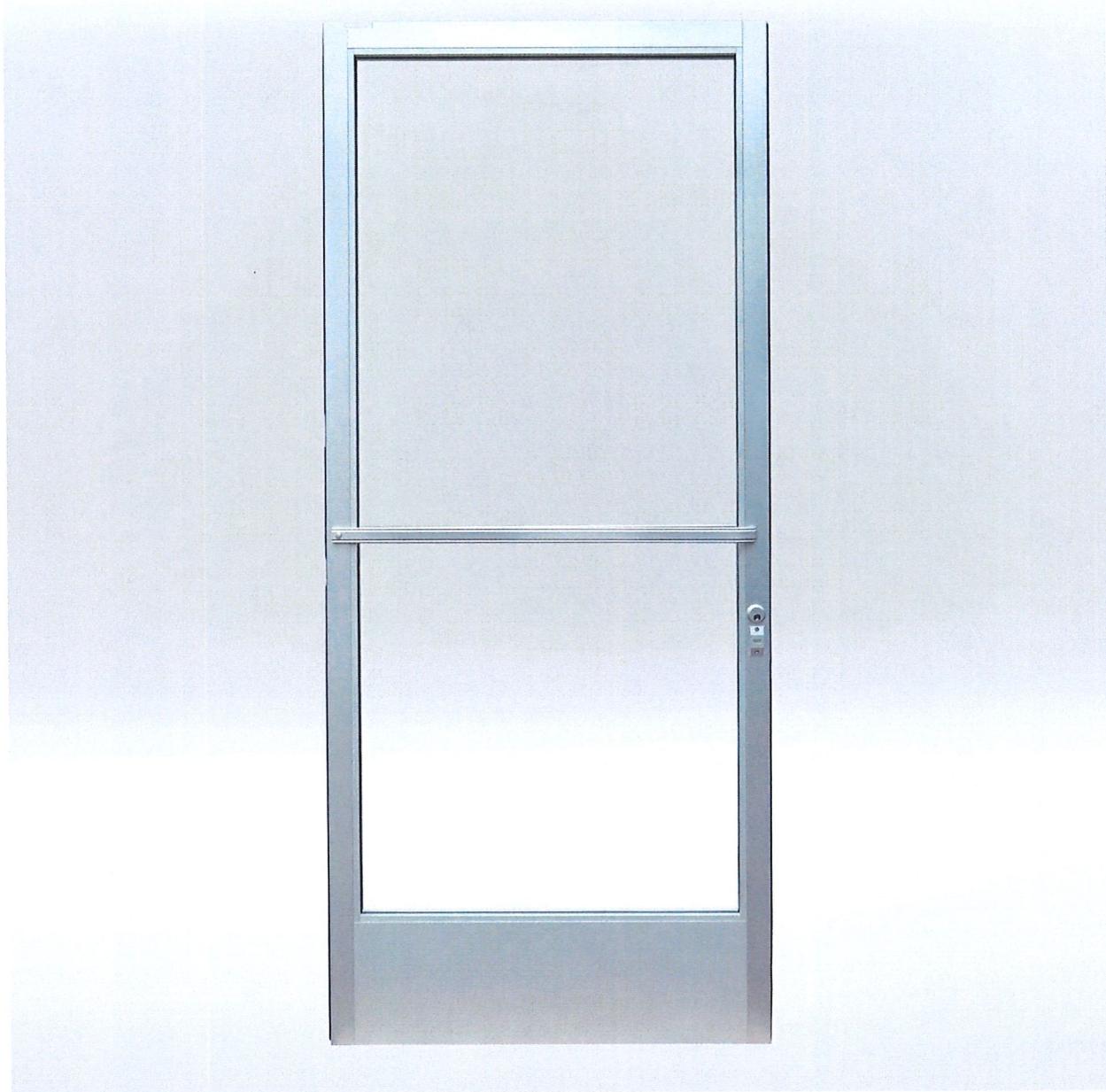
Date: 11/01/24

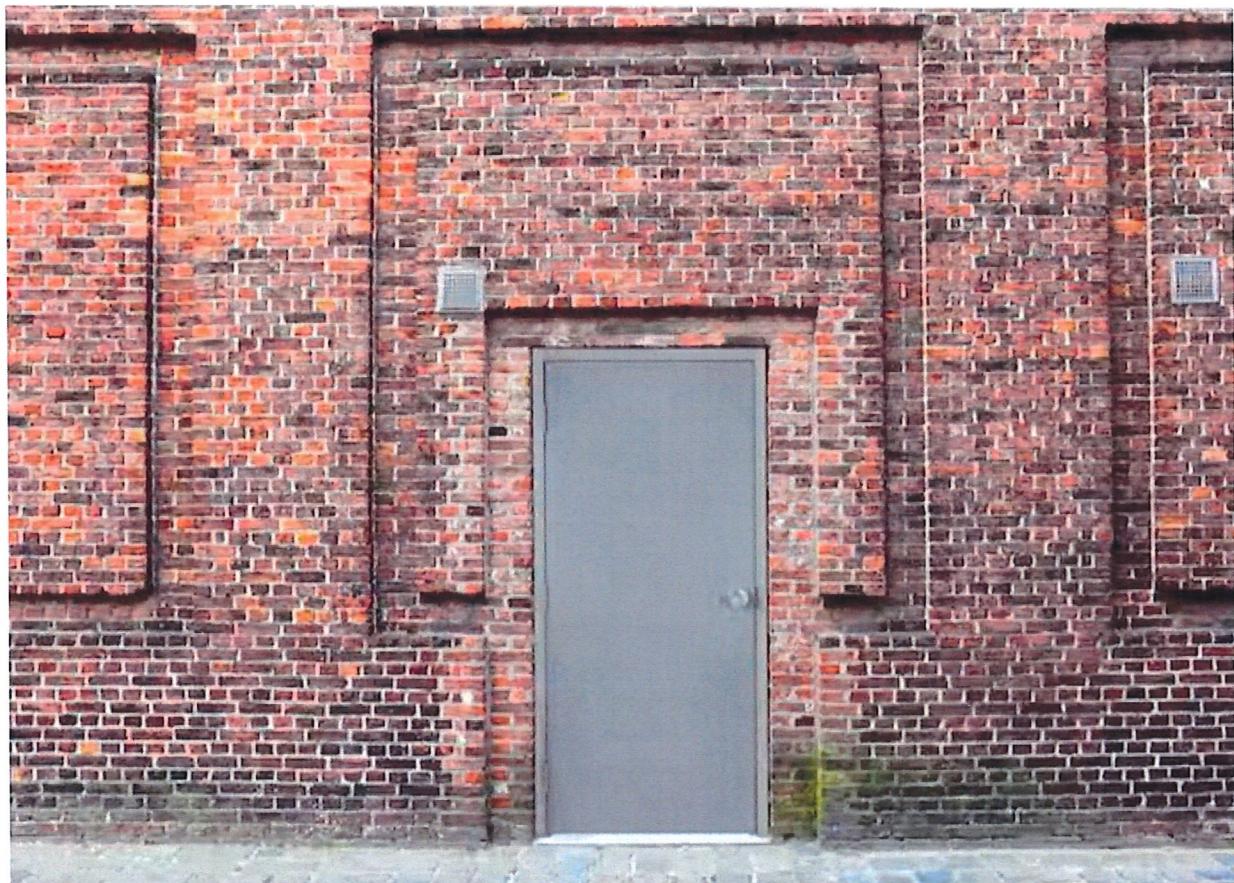
Date: 11/01/24

(26) 33.75 in x 56.75in 70 Series White Double Hung Low-E Argon Glass Vinyl Fin with J Window with Grids, Screen Incuded By American Craftsman



(1) Commercial Aluminum window and Door Storefront





(2) 36in x 80 in Gray Right hand Fire steel Glass Commercial Door.