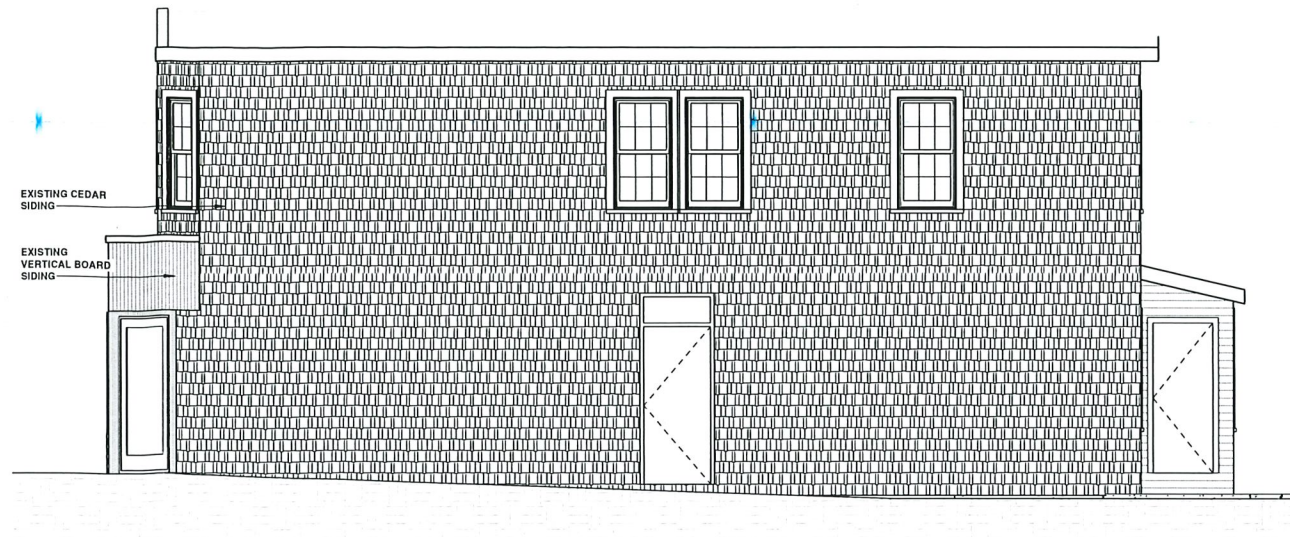


① EXISTING FRONT ELEVATION
1/4" = 1'-0"



② EXISTING RIGHT SIDE ELEVATIONS
1/4" = 1'-0"



FRONT ELEVATION



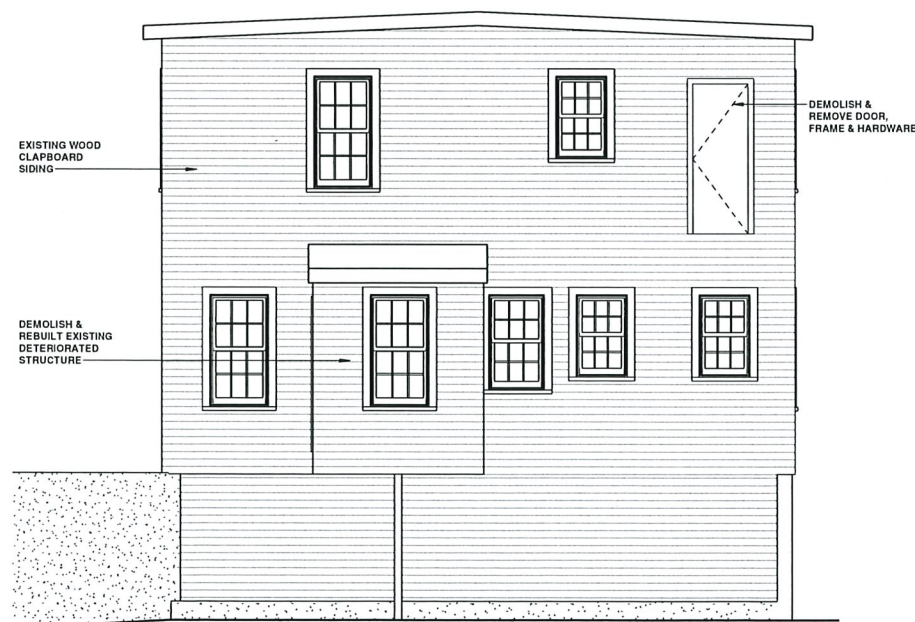
REAR ELEVATION



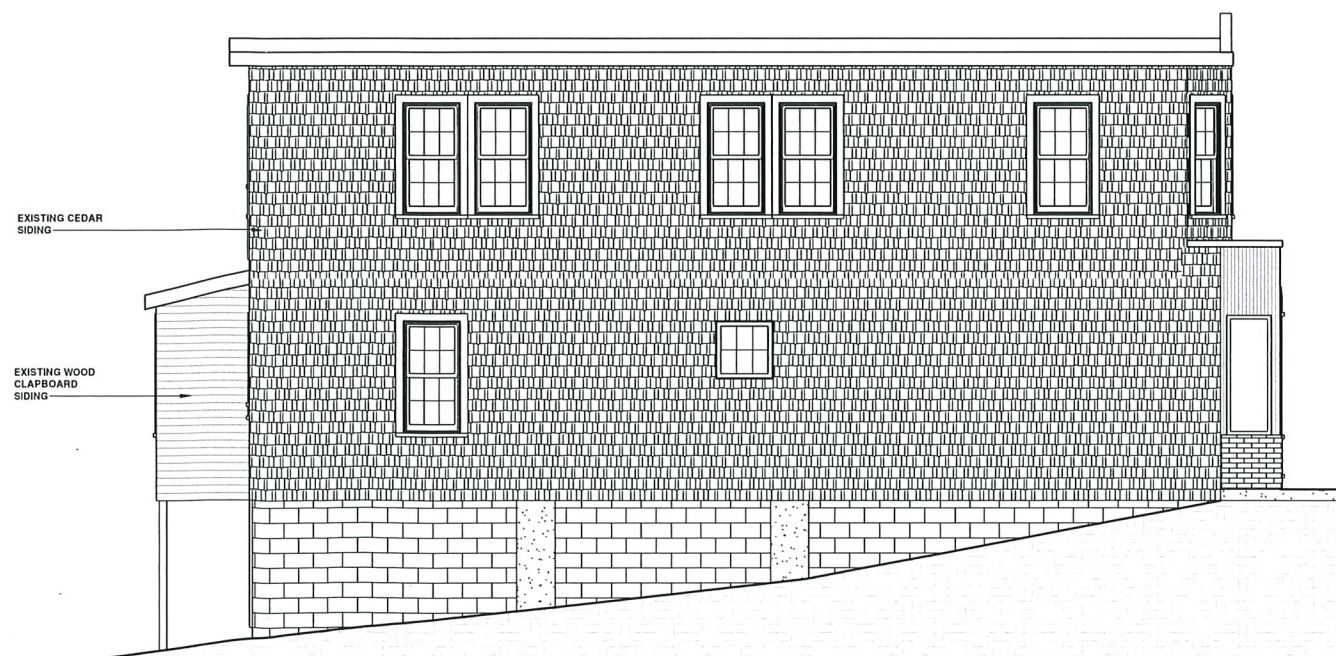
LEFT ELEVATION



RIGHT ELEVATION



③ EXISTING REAR ELEVATION
1/4" = 1'-0"



④ EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"

EXISTING ELEVATIONS

MIXED-USE
RENOVATION
36 HAMSHIRE ST. METHUEN, MASSACHUSETTS



DRAWN BY
WYD LLC.
246 WALNUT ST
LYNNFIELD, MA 01940
857-544-6477
DONG.ENGINEERING@GMAIL.COM

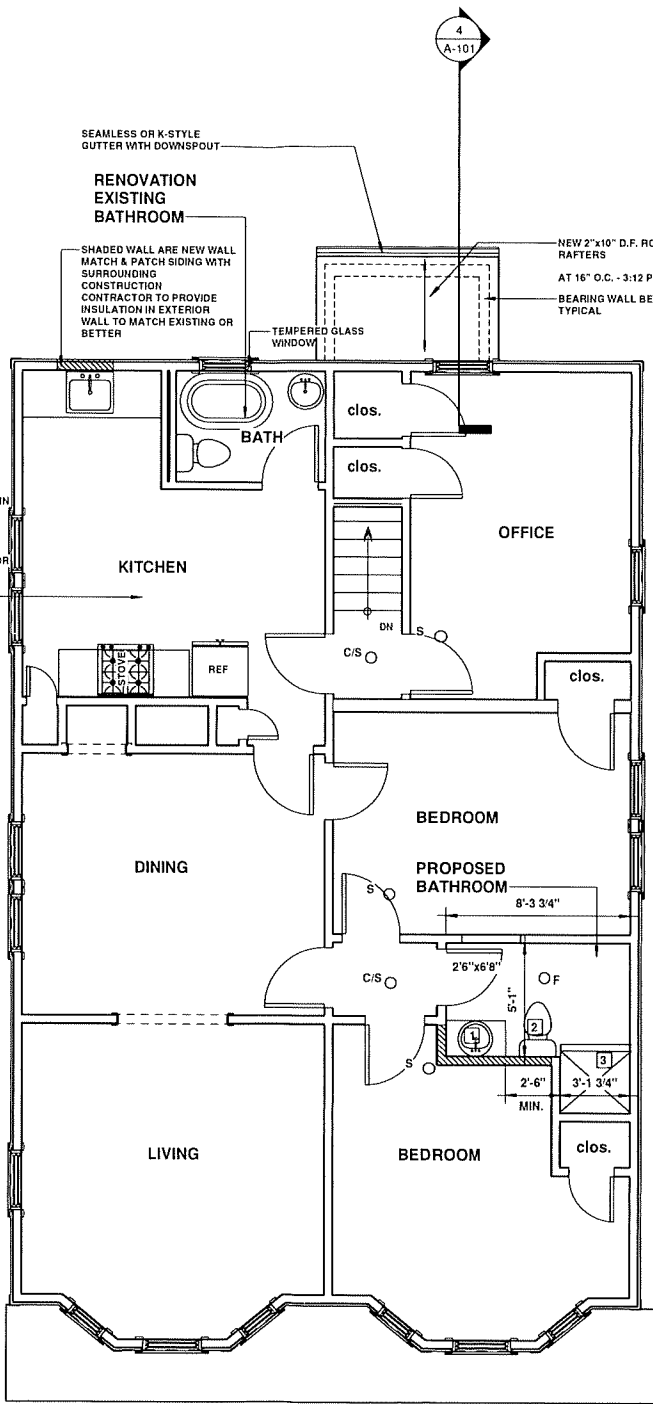
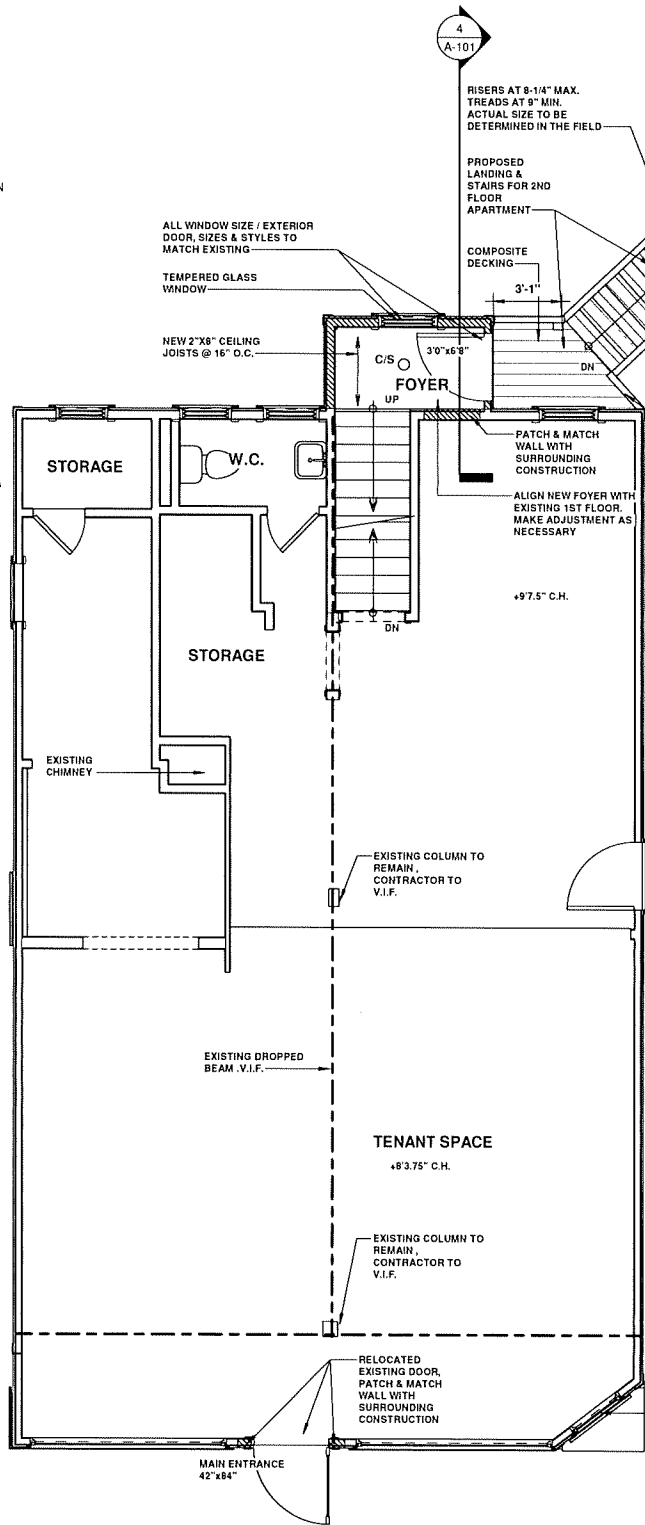
DATE: 04-23-24
REV: 06-11-24

EX-102

GENERAL NOTES:

1. THE INTENT OF THE DRAWINGS IS TO ILLUSTRATE THE WORK OF THIS PROJECT. IT SHOULD BE INTERPRETED IN A DIAGRAMMATIC MANNER AND NOT REGARDED AS ALL INFORMATION REQUIRED.
2. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 9TH EDITION COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE AND OTHER APPLICABLE CODES.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
5. DIMENSIONS ARE NOT GUARANTEE. THE CONTRACTOR SHOULD VERIFY ALL DRAWING DIMENSIONS BEFORE PERFORM WORK.
6. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.
7. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO WYD LLC IMMEDIATELY.
8. CONCRETE AND REBARS STRENGTH SHALL HAVE MINIMUM OF 3,000 PSI AND 60,000 PSI RESPECTIVELY EXCEPT AS NOTED.
9. NEW WINDOW MUST BE DOUBLE PANE AND U FACTOR = 0.3 OR BETTER.
10. ADD BLOCKING AT FLOOR STRUCTURE FOR PARALLEL WALLS AND POINT LOAD CONDITIONS. DOUBLE FRAMING AT PARALLEL WALLS.
11. ALL LVL BEAMS MUST BE VERSA-LAM 2.0 3100 OR BETTER.
12. ALL NEW DIMENSIONAL LUMBERS MUST BE SPF STRUCTURAL GRADE MATERIAL #2 OR BETTER.
13. DOUBLE FRAMING MEMBERS AT ALL OPENINGS UNLESS OTHERWISE NOTED.
14. PROVIDE PERPENDICULAR BLOCKING AT 2 END BAYS AT ALL FLOOR FRAMING PARALLEL TO END WALLS. BLOCKING SHALL CONSIST OF SAME JOIST MATERIAL AT 48" O.C.
15. FRAMING IS SHOWN ABOVE TYPICAL.
16. ALL OPENINGS IN WALLS SHALL HAVE HEADER, PLATE AND JACK STUDS REINFORCED WITH GALV. STEEL STRAPS, SIMPSON CS16 W/ 14 - 16D COMMON NAILS, PLACED OVER STUDS AND HEADER ABOVE UNLESS OTHERWISE NOTED.
17. ALL SHEARWALL HOLDDOWNS SHALL BE FASTENED TO 2-2"x4" SPF. STUDS MIN. & ALL CORNERS SHALL BE SOLID STUDED WITHOUT VOIDS.
18. ALL METAL STRAPS AND ANCHORS MAY BE INSTALLED DIRECTLY TO FRAMING OR OVER SHEATHING.
19. ALL METAL HANGERS, STRAPS, BOLTS, WASHERS AND NUTS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, G185 ZINC COATED GALVANIZED OR STAINLESS STEEL.
20. ALL DIMENSIONAL LUMBER CONNECTORS/HANGERS SHOULD BE SIMPSON STRONG-TIE OR BETTER.
21. SOME EXISTING BEAMS, JOISTS AND RAFTERS ARE NOT VISIBLE WITHOUT OPENING WALLS AND CEILINGS. EXISTING FRAMING/STRUCTURAL PLANS ARE ASSUMED BASED ON AVAILABLE INFORMATION.
22. WINDOW & EXTERIOR DOOR HEADERS ARE 2 - 1-3/4"x7-1/4" MICROLLAM UNLESS OTHERWISE NOTED.
23. INTERIOR DOOR HEADERS ARE NOT REQUIRED UNLESS NOTED. OPENINGS IN INTERIOR BEARING WALLS SHALL BE 2 - 1-3/4"x7-1/4" MICROLLAM LVL UNLESS OTHERWISE NOTED.
24. DOULBE FLOOR JOIST BELOW WALL ABOVE (TYP.)
25. DO NOT SCALE THE DRAWINGS.
26. ALL WINDOW & EXTERIOR DOOR SIZES, SERIES AND MANUFACTURER TO BE SELECTED BY THE OWNER

SHADED WALLS ARE NEW WALLS

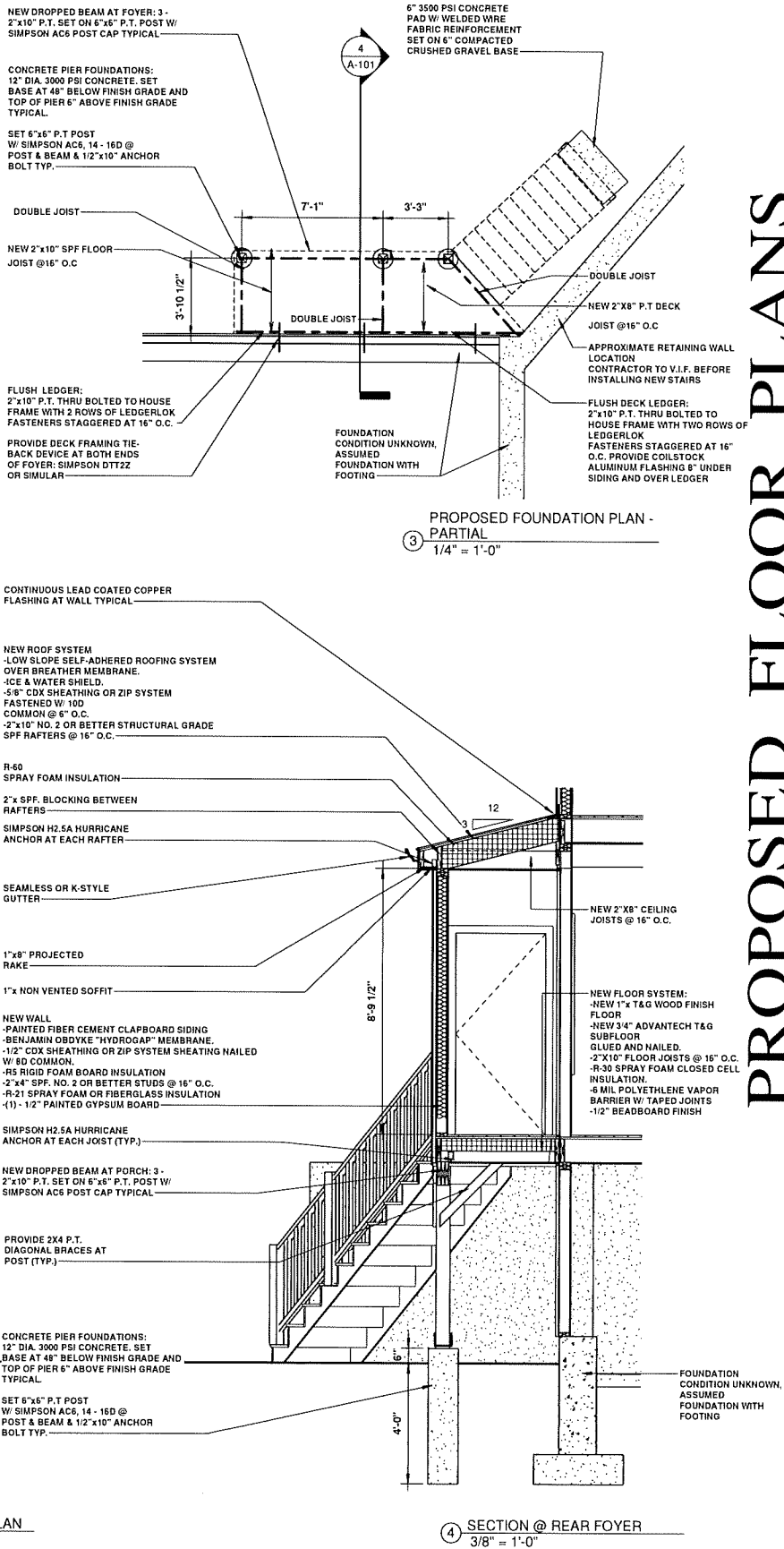


ELECTRICAL SCHEDULE:

NEW BATHROOM EXHAUST FAN

PLUMBING SCHEDULE:

1. LAVATORY WITH FAUCET SELECTED BY THE OWNER.
2. 1.6 GAL./FLUSH TOILET SELECTED BY THE OWNER
3. ALL TILED SHOWER ENCLOSURE W/ GLASS DOOR UNIT, HALF-WALL WITH GLASS ABOVE, MUD-SET TILED, PAN W/ SCHLUTER MEMBRANE AND PRESSURE BALANCING VALVE & SPOUT AS SELECTED BY OWNER.



PROPOSED FLOOR PLANS

MIXED-USE
RENOVATION

36 HAMSHIRE ST. METHUEN, MASSACHUSETTS



DRAWN BY
WYD LLC.
246 WALNUT ST.
LYNNFIELD, MA 01940
857-544-6477
DONG-ENGINEERING@GMAIL.COM

DATE: 04-23-24
REV: 06-11-24

A-101

SCOPE OF WORK

- SIDING & WINDOW REPLACEMENT
- REBUILT EXISTING DETERIORATED STRUCTURE
- REMOVE EXISTING COUNTER & WALK-IN-COOLER IN RETAIL SPACE ON 1ST FLOOR.
- BATHROOM & KITCHEN RENOVATION IN EXISTING APARTMENT UNIT ON 2ND FLOOR

TABLE OF CONTENTS:

- EX-101 EXISTING FLOOR PLANS
- EX-102 EXISTING ELEVATIONS
- A-101 PROPOSED FLOOR PLANS
- A-102 PROPOSED ELEVATIONS

DEMOLITION NOTES:

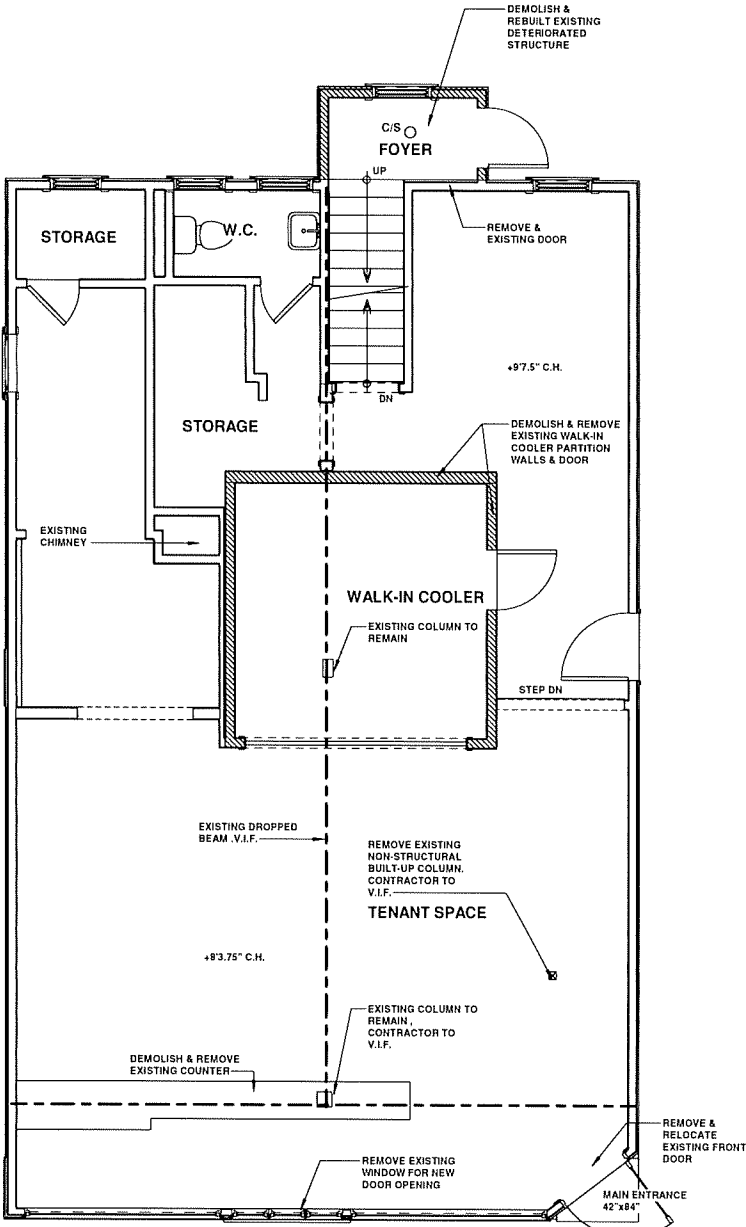
1. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
2. PROTECT ALL REMAINING STRUCTURE, INTERIOR SPACE & EQUIPMENT FROM DUST AND FLYING DEBRIS.
3. PROTECT INTERIOR SPACES FROM MOISTURE PENETRATION AT ALL TIMES.
4. ALL ITEMS TO BE REMOVED AND REUSED SHALL BE PROTECTED AND STORED IN A SECURE AND WEATHERTIGHT LOCATION.
5. DEMOLISH & REMOVE WINDOWS ONLY WHERE NOTED.

IMPORTANT NOTE:
CONTRACTOR SHALL MAKE NOTE OF LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES AND PROTECT SAME FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
FOR MORE INFORMATION, "CALL BEFORE YOU DIG"

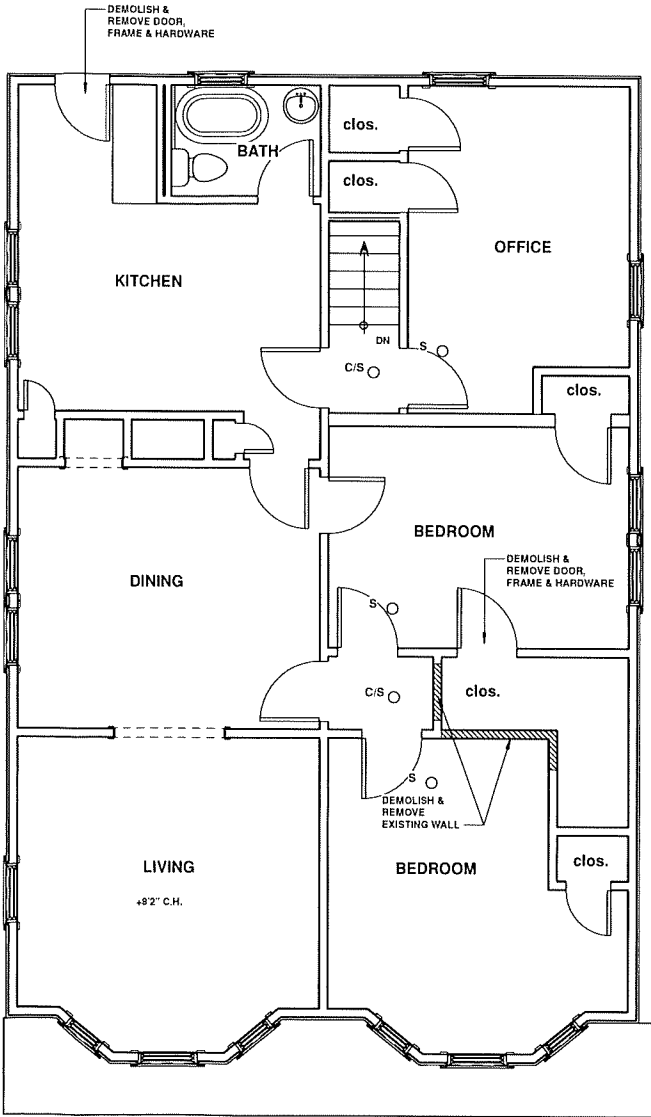
WALL DEMOLITION

ELECTRICAL SCHEDULE:

- C/S ○ EXISTING AC/DC CARBON MONOXIDE & SMOKE DETECTOR WIRE IN SERIES TO ALL OTHER DETECTORS
- EXISTING AC/DC CARBON MONOXIDE DETECTOR WIRE IN SERIES TO ALL OTHER DETECTORS
- S ○ EXISTING AC/DC SMOKE DETECTOR WIRE IN SERIES TO ALL OTHER DETECTORS



① EXISTING 1ST FLOOR PLAN
1/4" = 1'-0"



② EXISTING 2ND FLOOR PLAN
1/4" = 1'-0"

NOTE:
DIMENSIONS ARE BASED ON TAPE MEASUREMENT AND ARE FOR INFORMATIONAL PURPOSES ONLY, CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD

EXISTING 1ST & 2ND FLOOR PLANS

MIXED-USE
RENOVATION

36 HAMSHIRE ST. METHUEN, MASSACHUSETTS



DRAWN BY
WYD LLC.
246 WALNUT ST
LYNNFIELD, MA 01940
857-544-6477
DONG.ENGINEERING@GMAIL.COM

DATE: 04-23-24
REV: 06-11-24

EX-101